

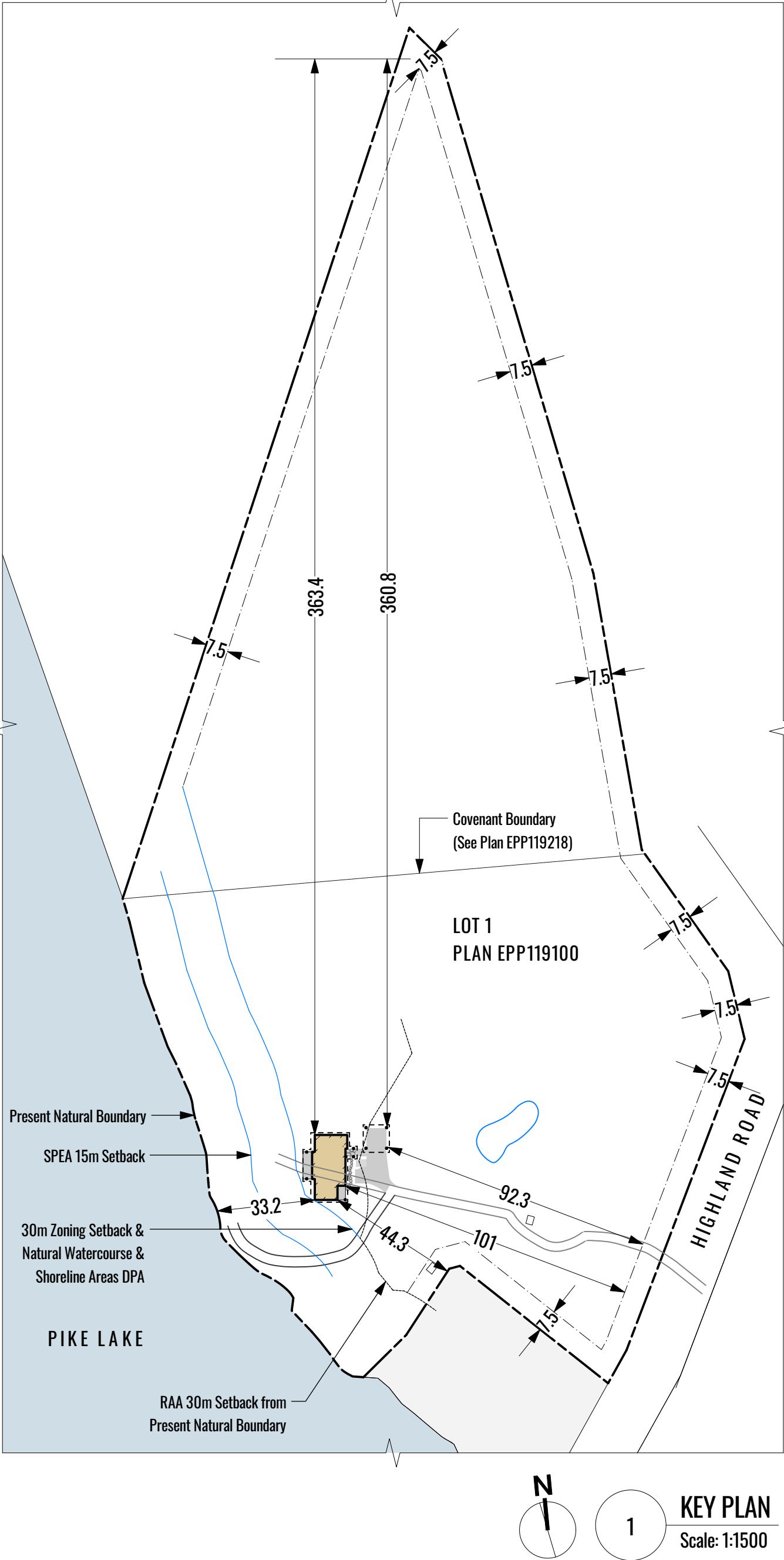
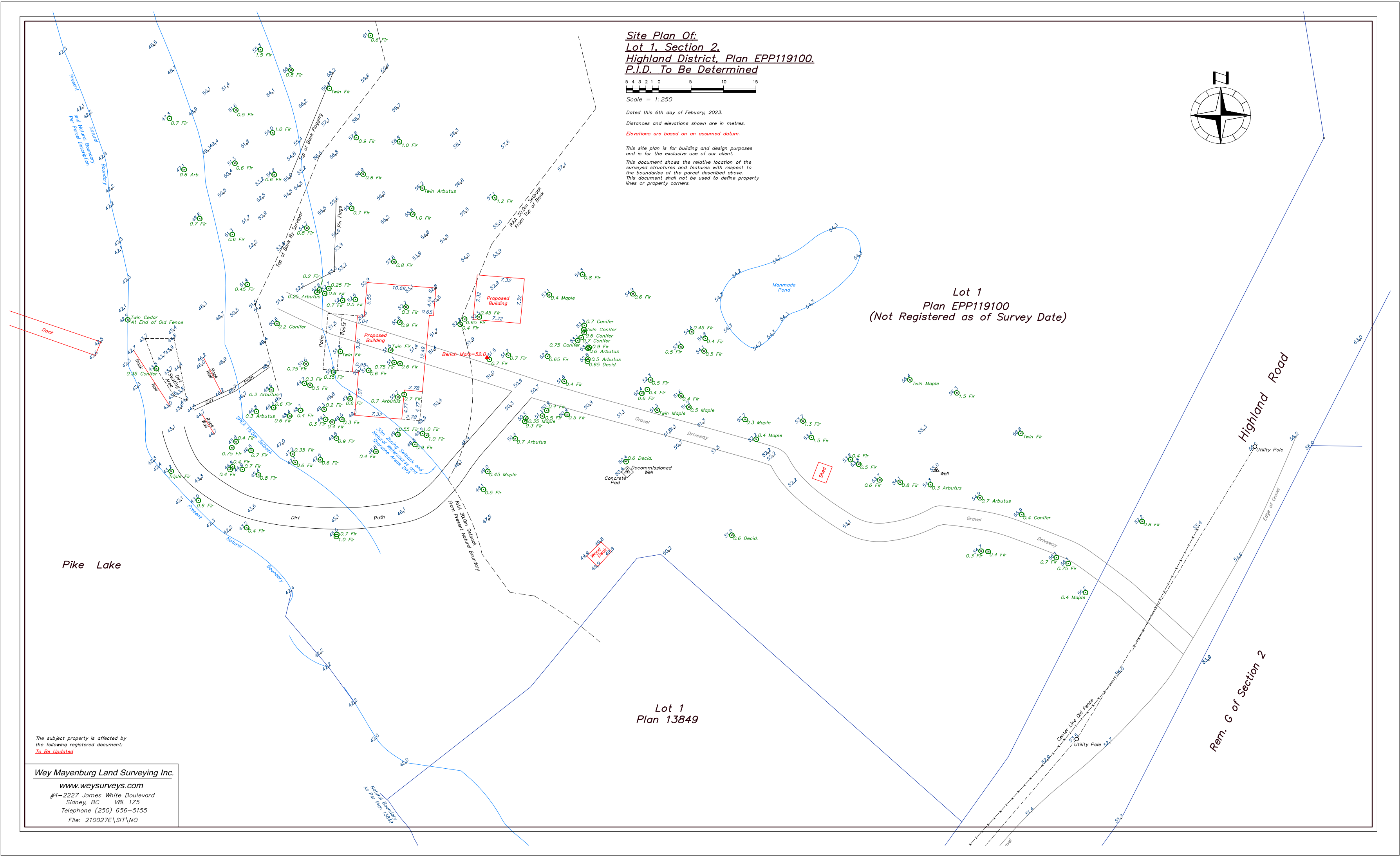
Drawing List

ARCHITECTURAL
Pamela Ubeda Architect.AIBC
Coast + Beam Architecture
1387 St. David Street V8S 4Z2
778-587-4849
e: pamela@coastandbeam.com
w: coastandbeam.com

A100	Assemblies/Survey
A101	Site Plan/Zoning
A200	Foundation Plan
A201	Main Floor Plan
A202	Roof Plan
A300	Elevations
A400	Sections
A401	Sections
A500	Details
A501	Details
A600	Accessory Building
A800	3D Model

Highland Road
Freeman / Van Mol Residence
September 12th 2023 - Development Permit Application

ABBREVIATIONS	
ACC.	ACCESSORY
@	AT
&	AND
CL	CENTERLINE
PL	PROPERTY LINE
Ø	DIAMETER
°	DEGREES
'	FEET
"	INCHES
A.F.F.	ABOVE FINISHED FLOOR
ALT.	ALTERNATE
ALUM.	ALUMINUM
ARCH.	ARCHITECTURAL
B.O.	BOTTOM OF
B.O.W.	BOTTOM OF WALL
C.I.P.	CAST-IN-PLACE
CLG.	CEILING
CONC.	CONCRETE
C.M.U.	CONCRETE MASONRY UNIT
CONT.	CONTINUOUS
DIM.	DIMENSION
DN	DOWN
DWG.	DRAWING
E	EAST
EA.	EACH
EL.	ELEVATION
ELEC.	ELECTRICAL
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXIST.	EXISTING
EXT.	EXTERIOR
F.F.	FINISHED FLOOR
FIN.	FINISH
F.O.	FACE OF
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.I.C.	FACE OF STUD
FT	FEET
G.W.B.	GYPSUM WALL BOARD
H.V.A.C.	HEATING / VENTILATION / AIR CONDITIONING
HA	HECTARES
H.B.	HOSE BIBB
I.D.	INSIDE DIAMETER
IN	INCH
INT.	INTERIOR
M	METERS
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MECH.	MECHANICAL
MIN.	MINIMUM
MM	MILLIMETERS
MTL.	METAL
N	NORTH
NO.	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OPP.	OPPOSITE
PLUMB.	PLUMBING
R	RISER
R.C.P.	REFLECTED CEILING PLAN
REQ.	REQUIRED
REV.	REVISION
S	SOUTH
S.A.F.	SELF-ADHERED FLASHING
SIM.	SIMILAR
SPEC.	SPECIFICATION
sf	SQUARE FEET
m²	SQUARE METERS
STRUCT.	STRUCTURAL
T&G	TONGUE AND GROOVE
T.O.	TOP OF
T.O.P.	TOP OF PAVEMENT
T.O.S.	TOP OF SLAB
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
V.W.M.	VERIFY WITH MANUFACTURER
W	WEST
W/	WITH
WC	WATER CLOSET
WD.	WOOD
W.P.	WATERPROOF
X.P.S.	EXTRUDED POLYSTYRENE



EXTERIOR WALL ASSEMBLIES			INTERIOR WALL ASSEMBLIES			ROOF ASSEMBLIES		
W1a	FOUNDATION WALL Drainage Mat Waterproof Membrane Concrete Wall (see structural)		W3a	INT. PARTITION WALL 2 x 4 1/2" GWB 2 x 4 Stud (see structural) 1/2" GWB		R1	METAL ROOF - WOOD TRUSS (vented) Standing Seam Metal Roof Waterproofing Membrane 5/8" T & G Plywood Sheathing Engineered Wood Truss (see structural) R40 Batt Insulation 5/8" GWB or T&G Wood (see R.C.P.)	
W1b	FOUNDATION WALL W. WOOD FRAME Drainage Mat Waterproof Membrane Concrete Wall (see str) 1/2" Air Gap R20 Batt Insulation 2x4 Wood Studs (see structural) 1/2" Gypsum Wall Board		W3b	INT. WALL 2 x 6 1/2" GWB 2 x 6 Stud (see structural) 1/2" GWB				
W2a	EXTERIOR 2 x 6 WOOD FRAME Vert. Cladding & Strapping (see elev. for cladding type) 1/2" Rainscreen Building Wrap 3/4" Plywood 2 x 6 Wood Studs U.N.O. (see structural) w/ R20 Batt Insulation 6mm Poly 1/2" GWB		FLOOR ASSEMBLY			R2	METAL ROOF - WOOD RAFTER (vented) Standing Seam Metal Roof Waterproofing Membrane 5/8" T & G Plywood Sheathing 2x10 Rafter (see structural) T&G Wood Soffit	
			F1	CONCRETE SLAB Finished flooring as noted on plans 4" Polished Concrete Slab w. radiant heat (see structural) 6 mil Poly Vapor Barrier 4" Rigid Insulation @ R5 per inch 6" min. Compacted Granular Fill				

GENERAL NOTES

ALL RIGHTS OF WAY BOUNDARIES, SETBACKS AND PROPERTY LINES TO BE CONFIRMED BY B.C.L.S. PRIOR TO CONSTRUCTION

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONFIRM SAME ON SITE

ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION

ALL CLEARANCES, METHODS AND MATERIALS TO BE COMPLIANT TO ALL APPLICABLE BUILDING CODES AND MUNICIPAL BYLAWS

SITE SURVEY PROVIDED BY SUMMIT LAND SURVEYING INC.

ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED

DO NOT SCALE DRAWINGS

ALL DIMENSIONS ARE MEASURED TO FACE OF STRUCTURE, UNLESS NOTED OTHERWISE

SMOKE ALARMS TO CONFORM WITH CAN/ULC - 5531, REFER TO BCRC 2018

K	DPA	2023-09-12
J	revised	2023-08-22
I	revised	2023-08-08
H	revised	2023-07-31
G	revised	2023-07-10
F	revised	2023-06-27
E	consultant review	2023-05-05
no.	issue description	date
copyright reserved. these drawings and designs are and at all times remain the property of Coast + Beam Architecture to be used for the project shown and may not be reproduced without written consent.		

project name
Van Mol / Freeman Residence
Highland Road
sheet title

Survey/Assemblies

date	2023-09-12
scale	as noted
drawn by	Amanda Hoy
sheet no.	A100

GENERAL NOTES

ALL RIGHTS OF WAY BOUNDARIES, SETBACKS AND PROPERTY LINES TO BE CONFIRMED BY B.C.L.S. PRIOR TO CONSTRUCTION

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONFIRM SAME ON SITE

ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION

ALL CLEARANCES, METHODS AND MATERIALS TO BE COMPLIANT TO ALL APPLICABLE BUILDING CODES AND MUNICIPAL BYLAWS

SITE SURVEY PROVIDED BY SUMMIT LAND SURVEYING INC.

ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED

DO NOT SCALE DRAWINGS

ALL DIMENSIONS ARE MEASURED TO FACE OF STRUCTURE, UNLESS NOTED OTHERWISE

SMOKE ALARMS TO CONFORM WITH CAN/ULC - 5531, REFER TO BCBC 2018

SITE PLAN LEGEND

- PROPERTY LINE
- CONTOUR LINE
- TOP OF BANK
- PROPOSED FOOTPRINT
- ELEVATION MARKER
- WATER METER
- UTILITY POLE
- GRID LINE
- ROOF ABOVE
- WELL
- TREE TO BE REMOVED
- TREE REMOVAL T.B.D ON SITE
- TREE TO REMAIN
- EXISTING ROCK WALL
- CONCRETE PATIO - cast in place
- EXISTING FENCE
- UNDERGROUND WATER LINE
- UNDERGROUND POWER LINE
- SANITARY LINE
- CONSTRUCTION PERIMETER
- 10m PERIMETER (from footprint)
- DIRT PATHWAY / AREA

K	DPA	2023-09-12
J	revised	2023-08-22
I	revised	2023-08-08
H	revised	2023-07-31
G	revised	2023-07-10
F	revised	2023-06-27
E	consultant review	2023-05-05
no.	issue description	date

copyright reserved. these drawings and designs are and of all times remain the property of Coast + Beam Architecture to be used for the project shown and may not be reproduced without written consent.

project name
Van Mol / Freeman Residence
Highland Road

sheet title

Site Plan/Zoning

date	2023-09-12
scale	as noted
drawn by	Amanda Hoy
sheet no.	A101

AVERAGE & FINISHED GRADES- ACCESSORY BUILDING			AVERAGE & FINISHED GRADES- PRINCIPAL BUILDING			ZONING TABLE		
GRADE CALCULATIONS		GRADE DIAGRAM	GRADE CALCULATIONS		GRADE DIAGRAM	CIVIC ADDRESS T.B.D. LEGAL DESCRIPTION PARCEL A (DD 40230) , SECTION 2, HIGHLAND DISTRICT PID: 001-530-780		
EXISTING GRADE	FINISHED GRADE		EXISTING GRADE	FINISHED GRADE		LOT INFORMATION		
N=54.0m P=54.0m Q=52.8m R=52.8m	N=51.95m P=51.95m Q=51.95m R=51.95m		A=53.8m B=53.8m C=52.9m D=52.9m E=51.0m F=51.0m G=50.4m H=50.1m J=51.4m K=51.4m L=52.8m M=52.8m	A=51.1m B=51.1m C=51.1m D=51.1m E=51.25m F=51.25m G=51.25m H=51.1m J=51.1m K=51.1m L=51.1m M=51.1m		ZONE A-1: Rural		
Existing Average Grade* 53.4m			Existing Average Grade* 52.03m			BUILDING CODE 2018 PART 9		
Finished Average Grade* 51.95m			Finished Average Grade* 51.13m			LOT AREA 5.35ha / 53,500m² / 575,869.2sf		
Grade means the weighted average of the existing grade or finished grade, whichever is lower immediately adjoining or immediately below each exterior wall of a building. (Town of View Royal Zoning Bylaw No. 900 2014)						SETBACKS		
						ALLOWABLE		
						PROPOSED		
						FRONT LOT LINE 7.5m		
						SIDE LOT LINE 7.5m		
						REAR LOT LINE 7.5m		
						NATURAL BOUNDARY 15m		
						HEIGHTS		
						PRINCIPAL 9.0m		
						ACCESSORY 4.5m		
						SITE COVERAGE		
						20%		
						FSR or GFA		
						50/372m2		
						75% area, non-basement		
						320.0m2		
						Carports/Garage Exemption		
						50m2 (538sf)		
						GROSS FLOOR AREA		
						372m2 / 4004.17sf		
						Main Floor		
						2430 sf		
						Carport		
						618 sf		
						Patio		
						441 sf		
						TOTAL		
						3489 sf		
						ACCESSORY BUILDINGS		
						YES - Carport		
						PROPOSED VARIANCES		
						NONE		
						DEVELOPMENT PERMIT AREA		
						YES		
						NOTE: SEE KEY PLAN (A100) FOR SITE SETBACKS AND BUILDING SETBACKS		



GENERAL NOTES

ALL RIGHTS OF WAY BOUNDARIES, SETBACKS AND PROPERTY LINES TO BE CONFIRMED BY B.C.L.S. PRIOR TO CONSTRUCTION

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONFIRM SAME ON SITE

ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION

ALL CLEARANCES, METHODS AND MATERIALS TO BE COMPLIANT TO ALL APPLICABLE BUILDING CODES AND MUNICIPAL BYLAWS

SITE SURVEY PROVIDED BY SUMMIT LAND SURVEYING INC.

ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED

DO NOT SCALE DRAWINGS

ALL DIMENSIONS ARE MEASURED TO FACE OF STRUCTURE, UNLESS NOTED OTHERWISE

SMOKE ALARMS TO CONFORM WITH CAN/ULC - 5531, REFER TO BCBC 2018

LEGEND

- 4.5m CONTOUR LINE
- Grade 4.5m SITE GRADES
- FAN
- SD SMOKE DETECTOR
- WS WALL, FLOOR AND ROOF TAG
- D-01 DOOR TAG
- W-01 WINDOW TAG
- 6 EXTERIOR FINISH SYMBOL
- A GRID LINE
- 1 BUILDING SECTION
- 11.10m FLOOR ELEVATION
- CENTERLINE
- N

K	DPA	2023-09-12
J	revised	2023-08-22
I	revised	2023-08-08
H	revised	2023-07-31
G	revised	2023-07-10
F	revised	2023-06-27
E	consultant review	2023-05-05

no.	issue description	date
copyright reserved. these drawings and designs are and all of them remain the property of Coast + Beam Architecture to be used for the project shown and may not be reproduced without written consent.		

project name
Van Mol / Freeman Residence
Highland Road

sheet title

Foundation Plan

date 2023-09-12

scale as noted

drawn by Amanda Hay

sheet no. A200

WALL TYPE LEGEND:

- W1a 8" Concrete Foundation Wall, Waterproofing & Drainage Mat, Backfilled
- W2a Exterior Vert. Clad 2 x 6 Wood Stud Wall 16" o.c. with R20 Batt Insulation, 1/2" G.W.B. Interior Finish
- W3a Interior 2 x 6 Wood Stud Wall 16" o.c., 1/2" G.W.B. Both Sides
- W3b Interior 2 x 4 Wood Stud 16" o.c. Partition Wall, 1/2" G.W.B. Both Sides

AREAS	
Main Floor	2430 sf
Carport	576 sf
Living Room Patio	300 sf
Mudroom Patio	140 sf
Soffit	1165 sf
Roof	3435

GENERAL NOTES

ALL RIGHTS OF WAY BOUNDARIES, SETBACKS AND PROPERTY LINES TO BE CONFIRMED BY B.C.L.S. PRIOR TO CONSTRUCTION

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONFIRM SAME ON SITE

ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION

ALL CLEARANCES, METHODS AND MATERIALS TO BE COMPLIANT TO ALL APPLICABLE BUILDING CODES AND MUNICIPAL BYLAWS

SITE SURVEY PROVIDED BY SUMMIT LAND SURVEYING INC.

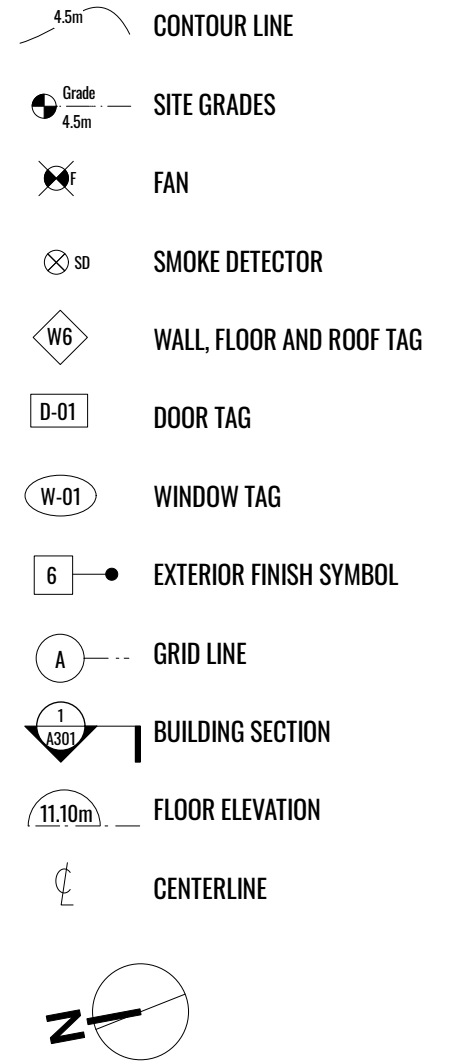
ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED

DO NOT SCALE DRAWINGS

ALL DIMENSIONS ARE MEASURED TO FACE OF STRUCTURE, UNLESS NOTED OTHERWISE

SMOKE ALARMS TO CONFORM WITH CAN/ULC - 5531. REFER TO BCBC 2018

LEGEND



K	DPA	2023-09-12
J	revised	2023-08-22
I	revised	2023-08-08
H	revised	2023-07-31
G	revised	2023-07-10
F	revised	2023-06-27
E	consultant review	2023-05-05

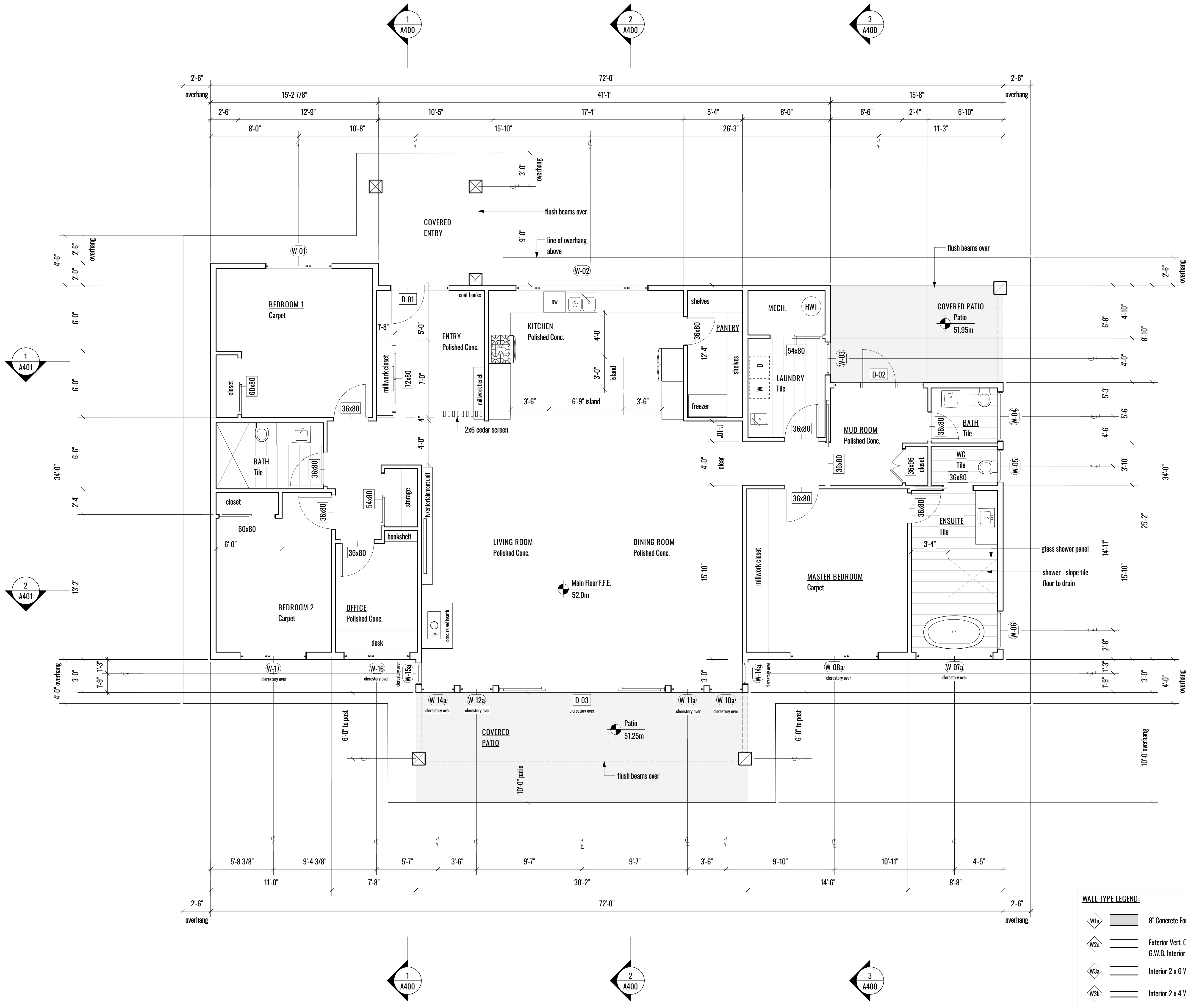
no.	issue description	date
copyright reserved. these drawings and designs are and all at all times remain the property of Coast + Beam Architecture to be used for the project shown and may not be reproduced without written consent.		

project name
Van Mol / Freeman Residence
Highland Road

sheet title

Main Floor Plan

date	2023-09-12
scale	as noted
drawn by	Amanda Hay
sheet no.	A201



AREAS	
Main Floor	2430 sf
Carport	576 sf
Living Room Patio	300 sf
Mudroom Patio	140 sf
Soffit	1165 sf
Roof	3435

WALL TYPE LEGEND:

W1a	8" Concrete Foundation Wall, Waterproofing & Drainage Mat, Backfilled
W2a	Exterior Vert. Clad 2 x 6 Wood Stud Wall 16" o.c. with R20 Batt Insulation, 1/2" G.W.B. Interior Finish
W3a	Interior 2 x 6 Wood Stud Wall 16" o.c., 1/2" G.W.B. Both Sides
W3b	Interior 2 x 4 Wood Stud 16" o.c. Partition Wall, 1/2" G.W.B. Both Sides

GENERAL NOTES

ALL RIGHTS OF WAY BOUNDARIES, SETBACKS AND PROPERTY LINES TO BE CONFIRMED BY B.C.L.S. PRIOR TO CONSTRUCTION

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONFIRM SAME ON SITE

ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION

ALL CLEARANCES, METHODS AND MATERIALS TO BE COMPLIANT TO ALL APPLICABLE BUILDING CODES AND MUNICIPAL BYLAWS

SITE SURVEY PROVIDED BY SUMMIT LAND SURVEYING INC.

ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED

DO NOT SCALE DRAWINGS

ALL DIMENSIONS ARE MEASURED TO FACE OF STRUCTURE, UNLESS NOTED OTHERWISE

SMOKE ALARMS TO CONFORM WITH CAN/ULC - S531, REFER TO BCBC 2018

LEGEND

4.5m CONTOUR LINE

Grade 4.5m SITE GRADES

FAN

SMOKE DETECTOR

WIS WALL, FLOOR AND ROOF TAG

D-01 DOOR TAG

W-01 WINDOW TAG

6 EXTERIOR FINISH SYMBOL

A GRID LINE

1/4" WALL SECTION

1/4" BUILDING SECTION

11.10m FLOOR ELEVATION



K	DPA	2023-09-12
J	revised	2023-08-22
I	revised	2023-08-08
H	revised	2023-07-31
G	revised	2023-07-10
F	revised	2023-06-27
E	consultant review	2023-05-05
no.	issue description	date

copyright reserved, these drawings and designs are and at all times remain the property of Coast + Beam Architecture to be used for the project shown and may not be reproduced without written consent.

project name

Van Mol / Freeman Residence
Highland Road

sheet title

Roof Plan

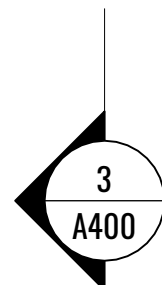
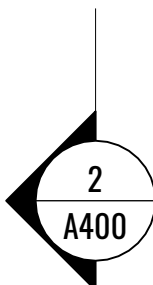
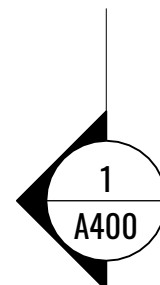
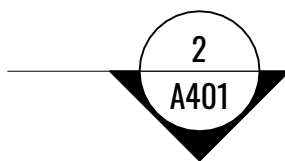
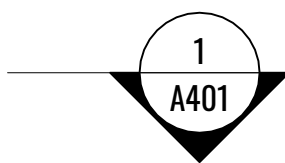
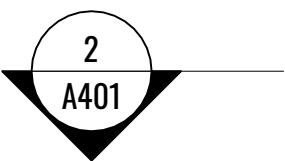
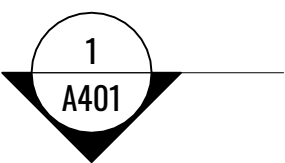
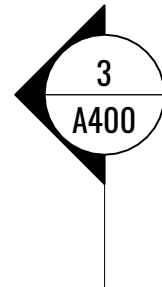
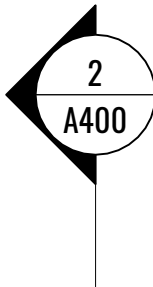
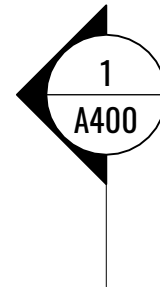
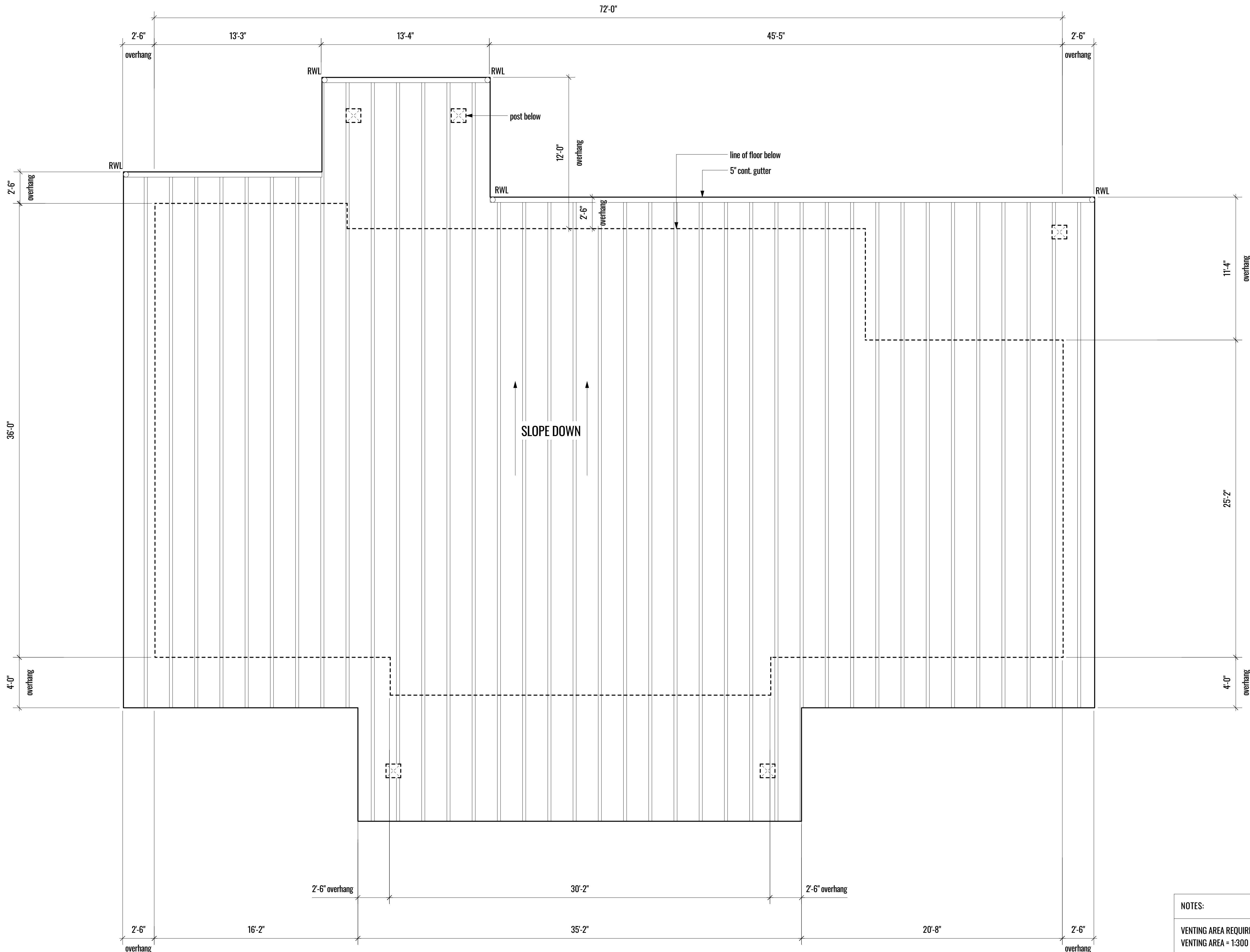
date	2023-09-12
scale	as noted
drawn by	Amanda Hay
sheet no.	A202

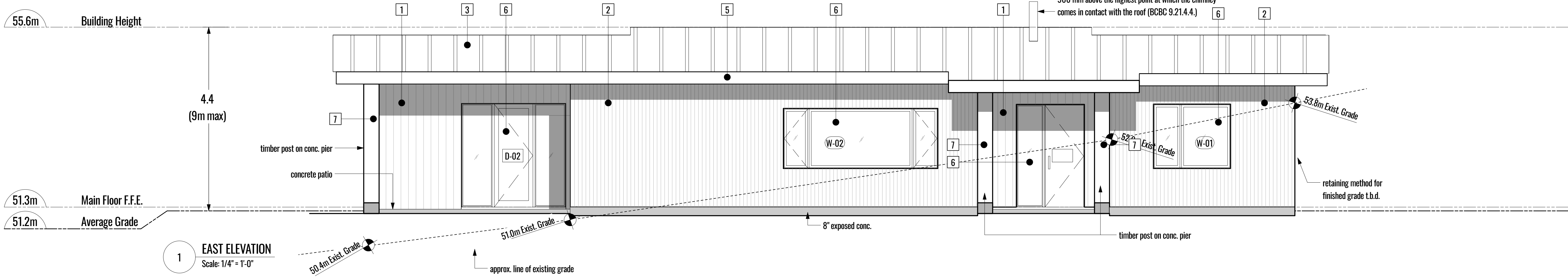
NOTES:

VENTING AREA REQUIREMENTS TO MEET BCBC 2018 EDITION MINIMUM
VENTING AREA = 1:300 OF INSULATED CEILING AREA

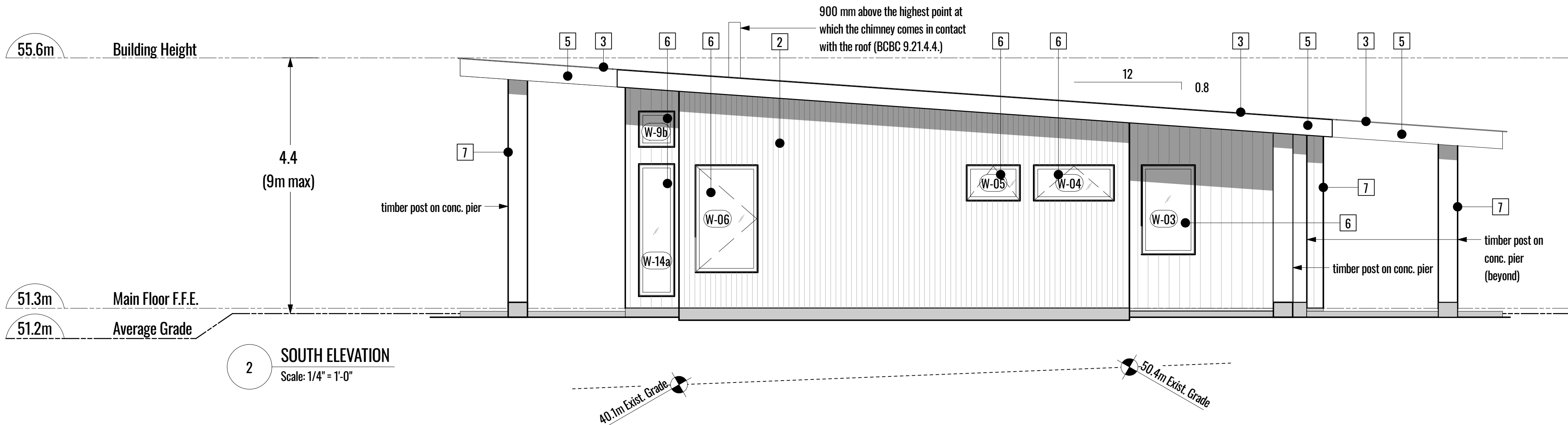
SOFFIT VENTING:

- MIN. 25% OF VENT AREA
- PROVIDE VENT STRIP @ PERIM.

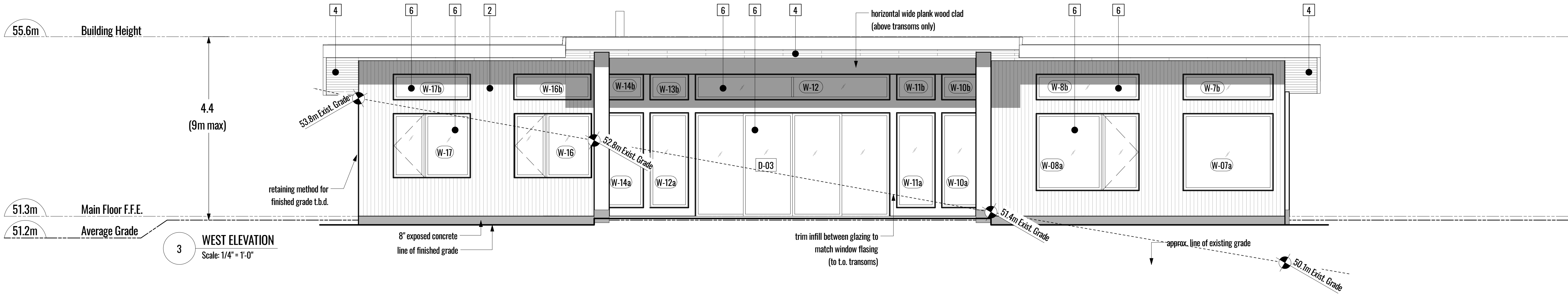




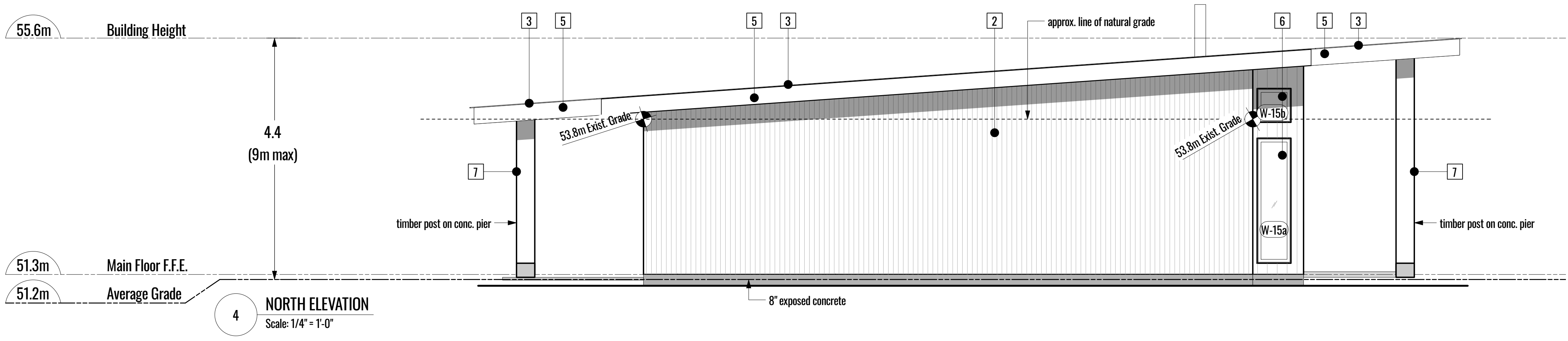
1 EAST ELEVATION
Scale: 1/4" = 1'-0"



2 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



3 WEST ELEVATION
Scale: 1/4" = 1'-0"



4 NORTH ELEVATION
Scale: 1/4" = 1'-0"

LIMITING DISTANCE				
BUILDING FACE	WALL AREA	DISTANCE TO P.L.	UNPROTECTED OPENING (Perm./ Prop.)	% Allowable (Perm./ Prop.)
EAST ELEVATION				
Total Exposed				
Building Face: 66.8 m ²	66.8 m ²	101.0 m	66.8 m ² / 15.5 m ²	100.0% / 23.2 %
SOUTH ELEVATION				
Total Exposed				
Building Face: 39.9 m ²	39.9 m ²	44.3 m	39.9 m ² / 6.5 m ²	100.0% / 16.2 %
WEST ELEVATION				
Total Exposed				
Building Face: 90.1 m ²	90.1 m ²	33.2 m	90.1 m ² / 45.0 m ²	100.0% / 49.0 %
NORTH ELEVATION				
Total Exposed				
Building Face: 42.1 m ²	42.1 m ²	363.4 m	42.1 m ² / 1.7 m ²	100.0% / 4.0 %

GENERAL NOTES

ALL RIGHTS OF WAY BOUNDARIES, SETBACKS AND PROPERTY LINES TO BE CONFIRMED BY B.C.L.S. PRIOR TO CONSTRUCTION

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONFIRM SAME ON SITE

ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION

ALL CLEARANCES, METHODS AND MATERIALS TO BE COMPLIANT TO ALL APPLICABLE BUILDING CODES AND MUNICIPAL BYLAWS

SITE SURVEY PROVIDED BY SUMMIT LAND SURVEYING INC.

ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED

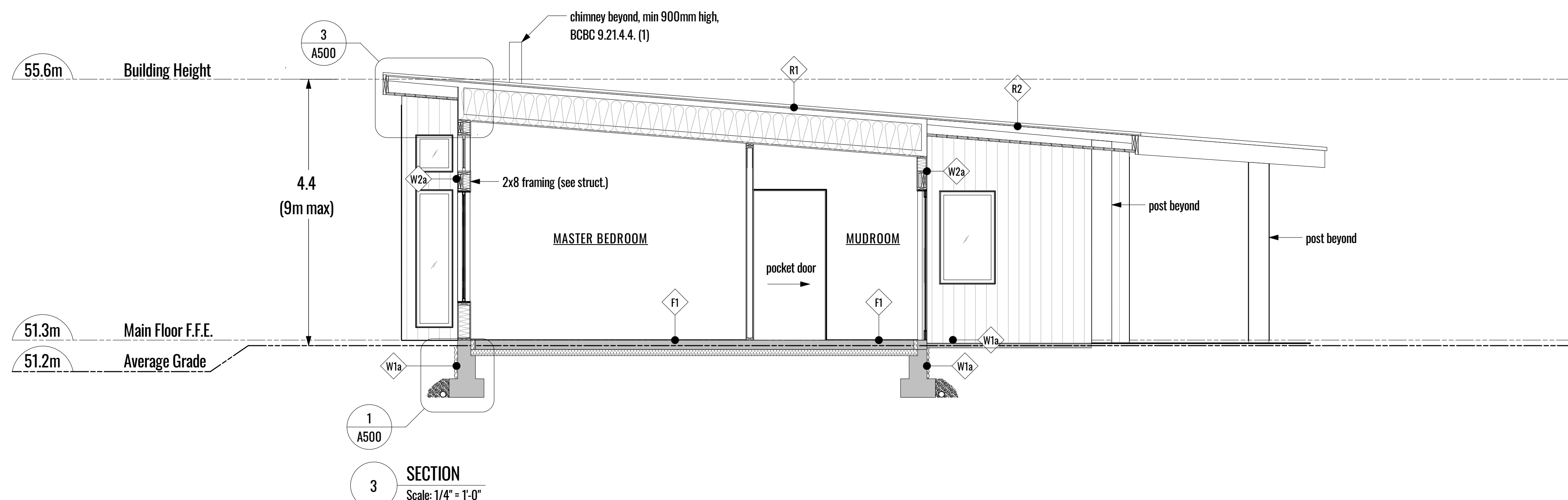
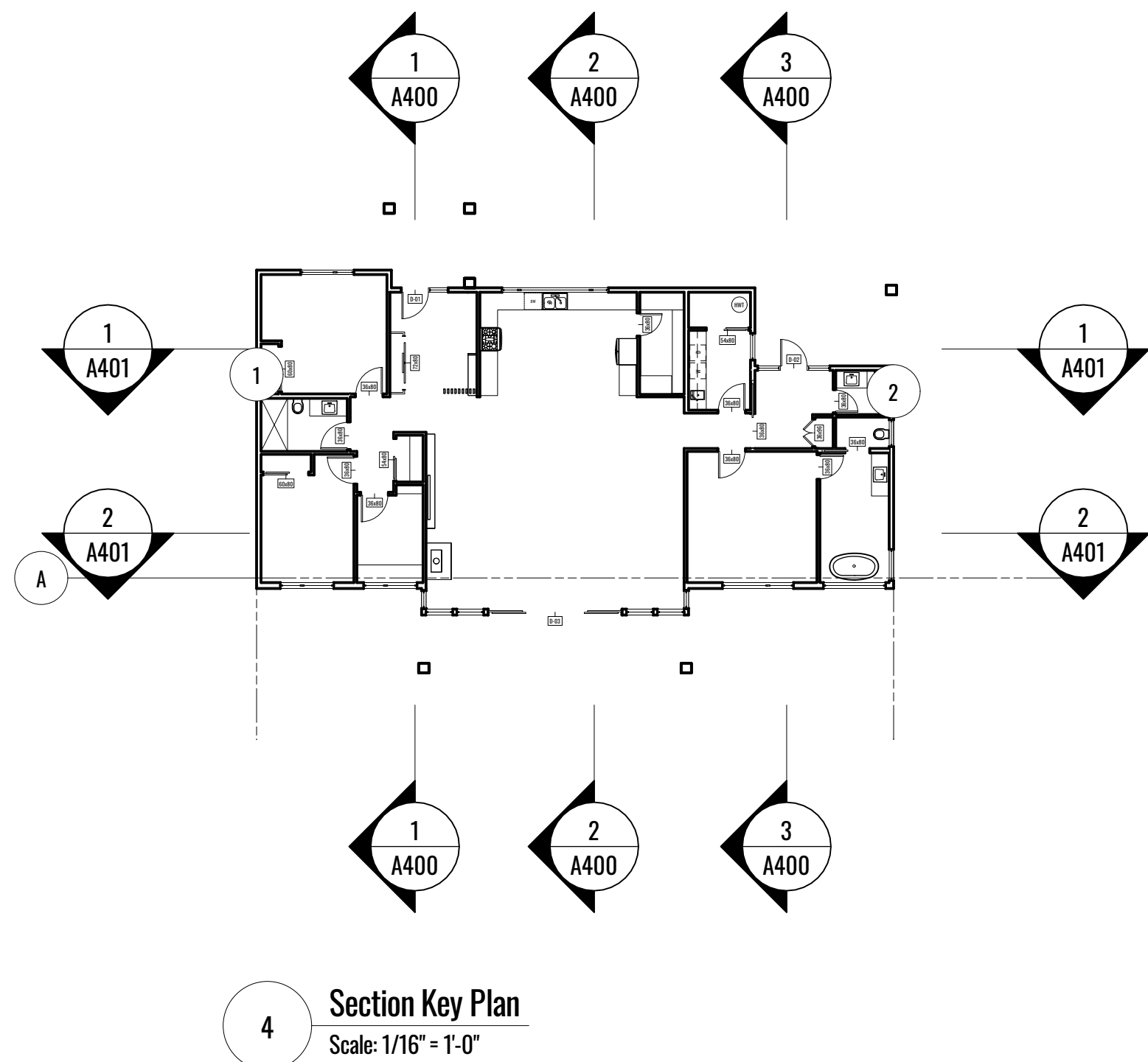
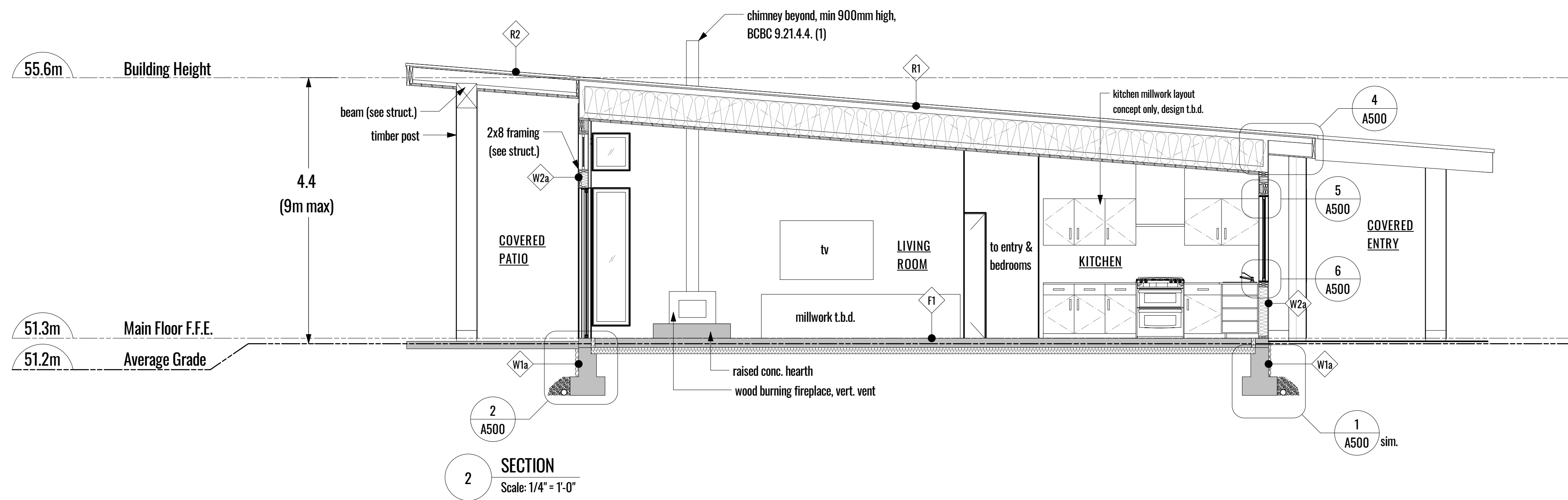
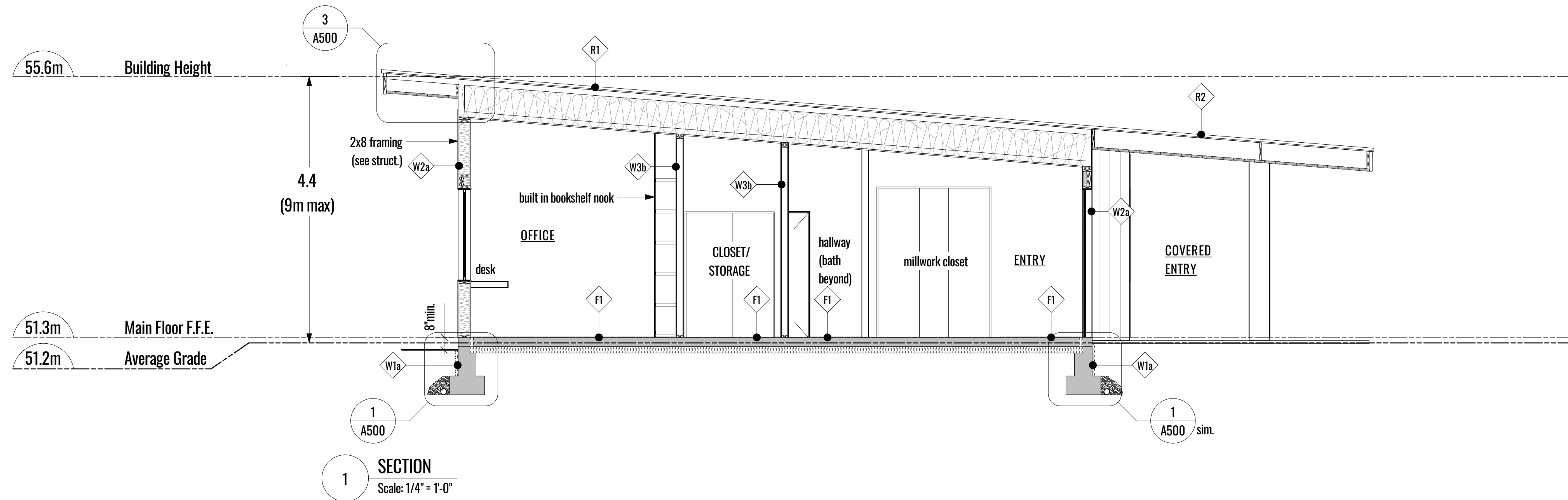
DO NOT SCALE DRAWINGS

ALL DIMENSIONS ARE MEASURED TO FACE OF STRUCTURE, UNLESS NOTED OTHERWISE

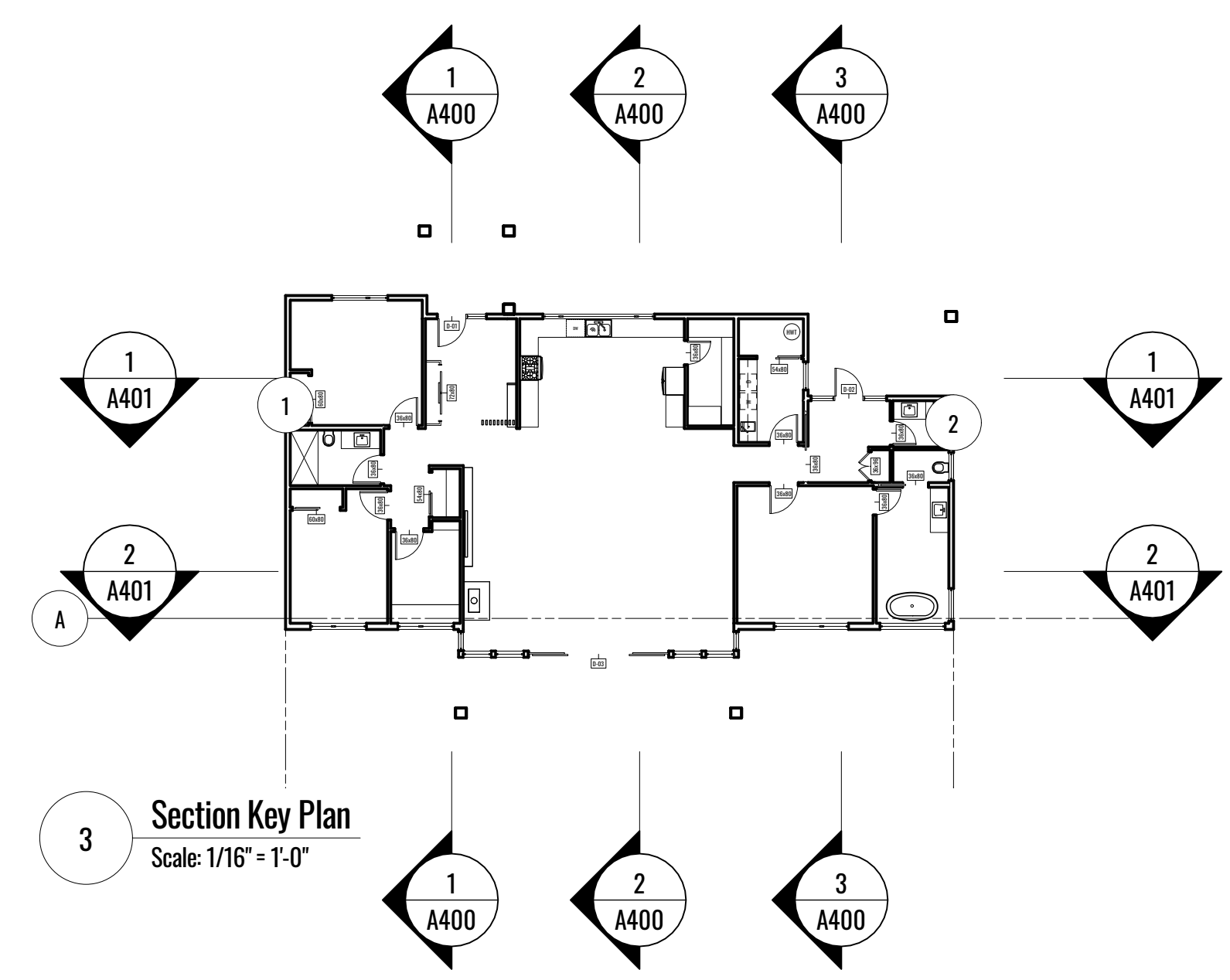
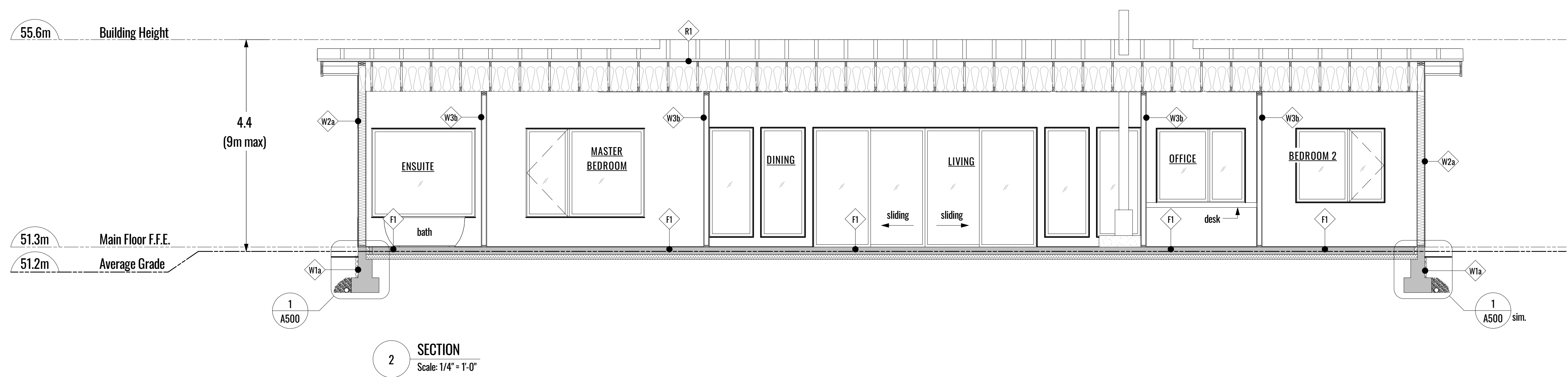
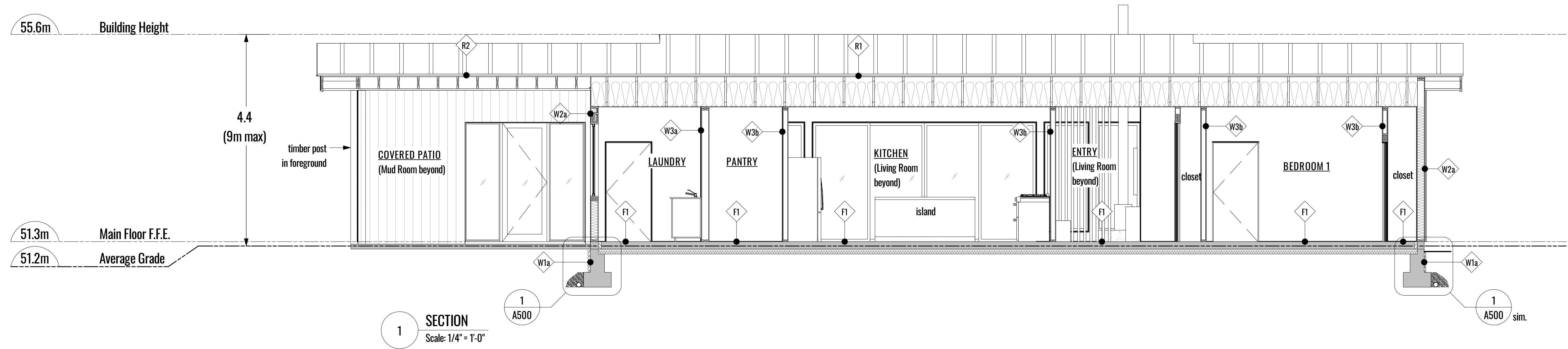
SMOKE ALARMS TO CONFORM WITH CAN/ULC - S531, REFER TO BCBC 2018

- EXTERIOR FINISH SCHEDULE**
- 1 VERTICAL CEDAR
 - 2 VERTICAL SHOU SUGI BAN
 - 3 STANDING SEAM METAL ROOF
 - 4 CEDAR SOFFIT
 - 5 WOOD FASCIA - black
 - 6 GLAZING - w. black trim (u.n.a.)
 - 7 TIMBER POST - clear stain
- EXTERIOR FINISH SCHEDULE-ALTERNATE**
(for pricing)
- 1 VERT. HARDIE - wood look
 - 2 VERT. HARDIE - black
 - 3 STANDING SEAM METAL ROOF
 - 4 HARDIE SOFFIT - wood look
 - 5 HARDIE FASCIA - black
 - 6 GLAZING
 - 7 TIMBER POST - clear stain

K	DPA	2023-09-12
J	revised	2023-08-22
I	revised	2023-08-08
H	revised	2023-07-31
G	revised	2023-07-10
F	revised	2023-06-27
E	consultant review	2023-05-05
no.	issue description	date
copyright reserved. these drawings and designs are and all times remain the property of Coast + Beam Architecture to be used for the project shown and may not be reproduced without written consent.		
project name		
Van Mol / Freeman Residence		
Highland Road		
sheet title		
Elevations		
date		
2023-09-12		
scale		
as noted		
drawn by		
Amanda Hay		
sheet no.		
A300		



K	DPA	2023-09-12
J	revised	2023-08-22
I	revised	2023-08-08
H	revised	2023-07-31
G	revised	2023-07-10
F	revised	2023-06-27
E	consultant review	2023-05-05
no.	issue description	date
copyright reserved. these drawings and designs are and at all times remain the property of Coast + Beam Architecture to be used for the project shown and may not be reproduced without written consent.		
project name		
Van Mol / Freeman Residence		
Highland Road		
sheet title		
Building Sections		
date		
2023-09-12		
scale		
as noted		
drawn by		
Amanda Hoy		
sheet no.		
A400		



K	DPA	2023-09-12
J	revised	2023-08-22
I	revised	2023-08-08
H	revised	2023-07-31
G	revised	2023-07-10
F	revised	2023-06-27
E	consultant review	2023-05-05
no.	issue description	date
copyright reserved. these drawings and designs are and at all times remain the property of Coast + Beam Architecture to be used for the project shown and may not be reproduced without written consent.		
project name		
Van Mol / Freeman Residence		
Highland Road		
sheet title		
Building Sections		
date	2023-09-12	
scale	as noted	
drawn by	Amanda Hoy	
sheet no.	A401	

GENERAL NOTES

ALL RIGHTS OF WAY BOUNDARIES, SETBACKS AND PROPERTY LINES TO BE CONFIRMED BY B.C.L.S. PRIOR TO CONSTRUCTION

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONFIRM SAME ON SITE

ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION

ALL CLEARANCES, METHODS AND MATERIALS TO BE COMPLIANT TO ALL APPLICABLE BUILDING CODES AND MUNICIPAL BYLAWS

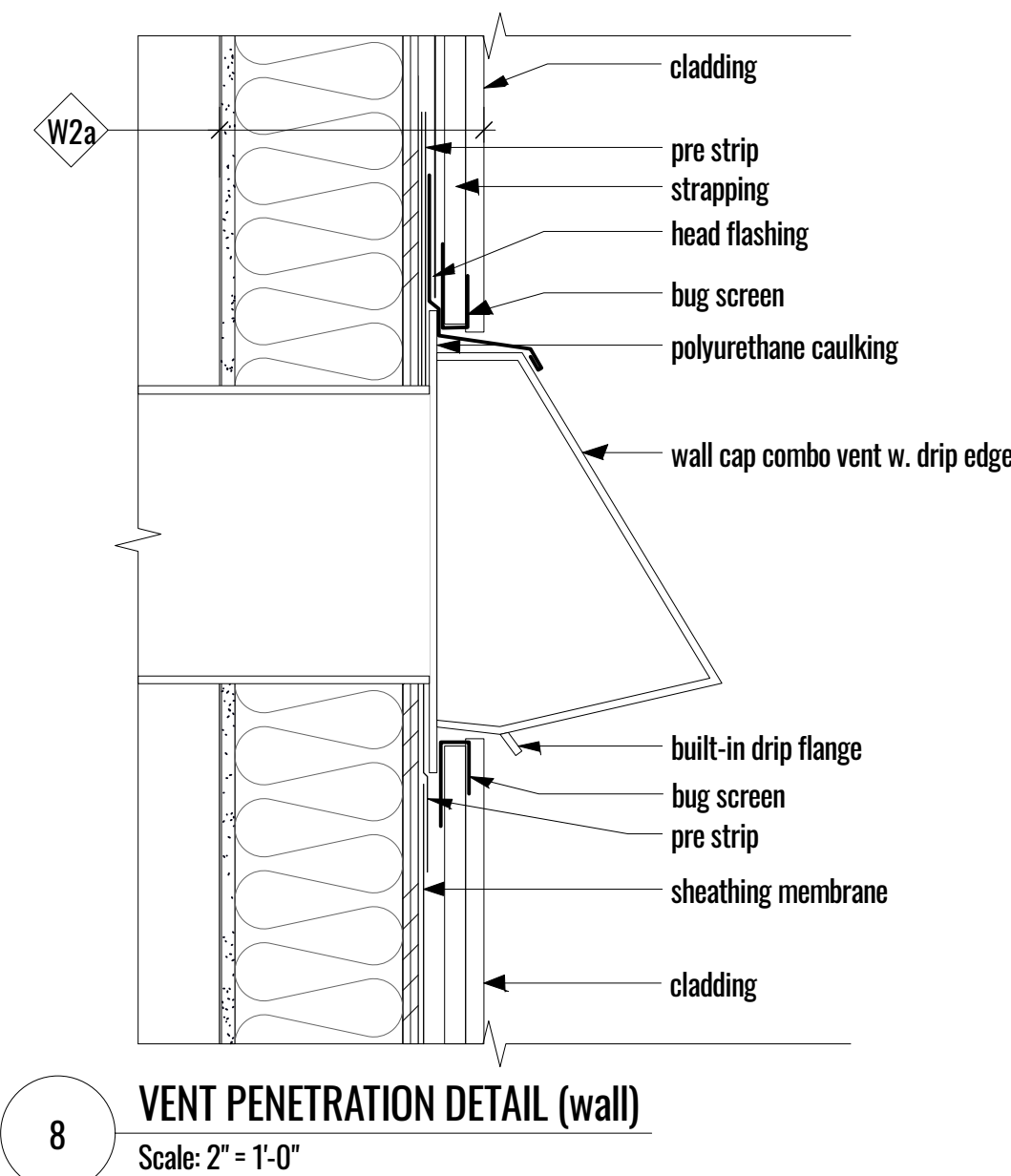
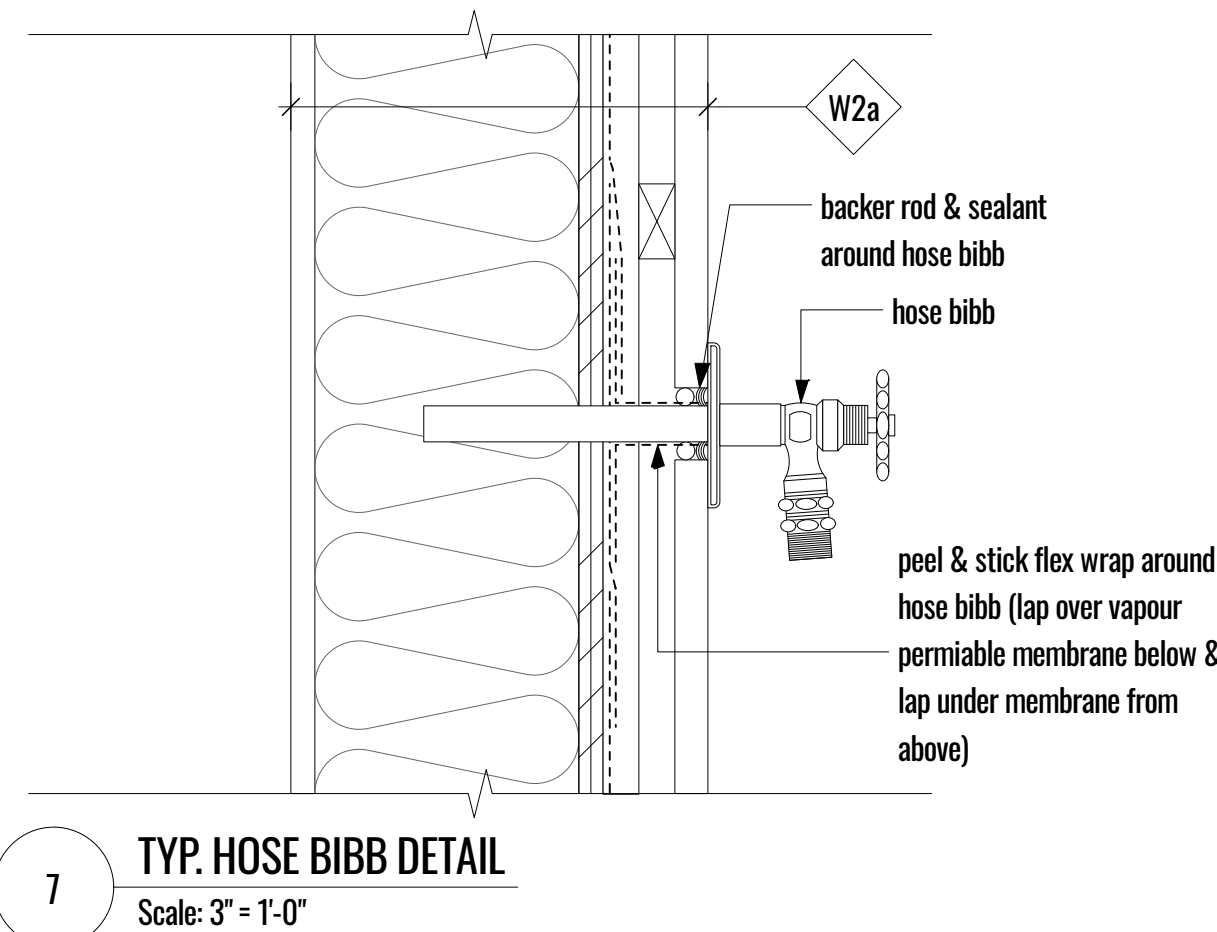
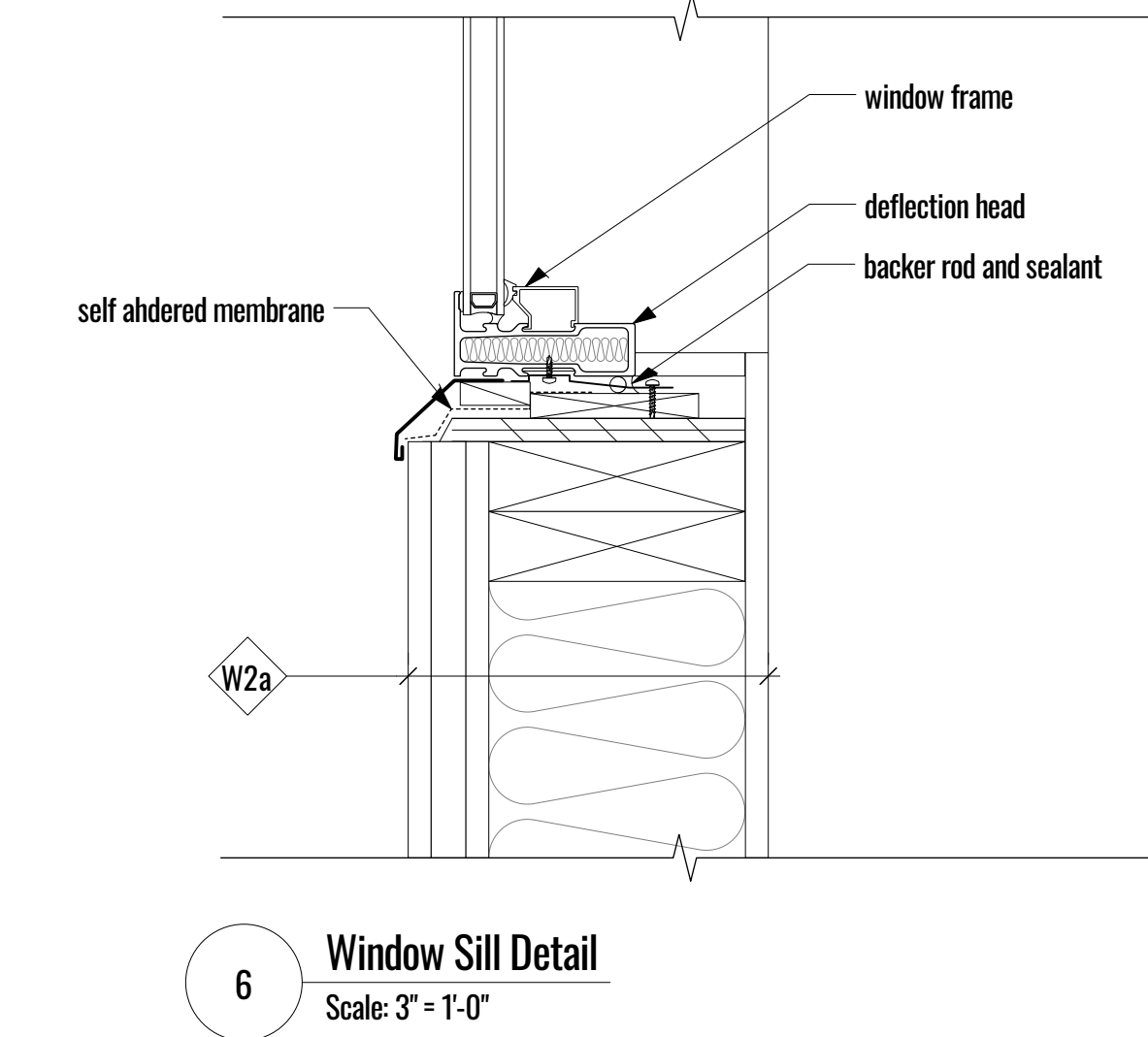
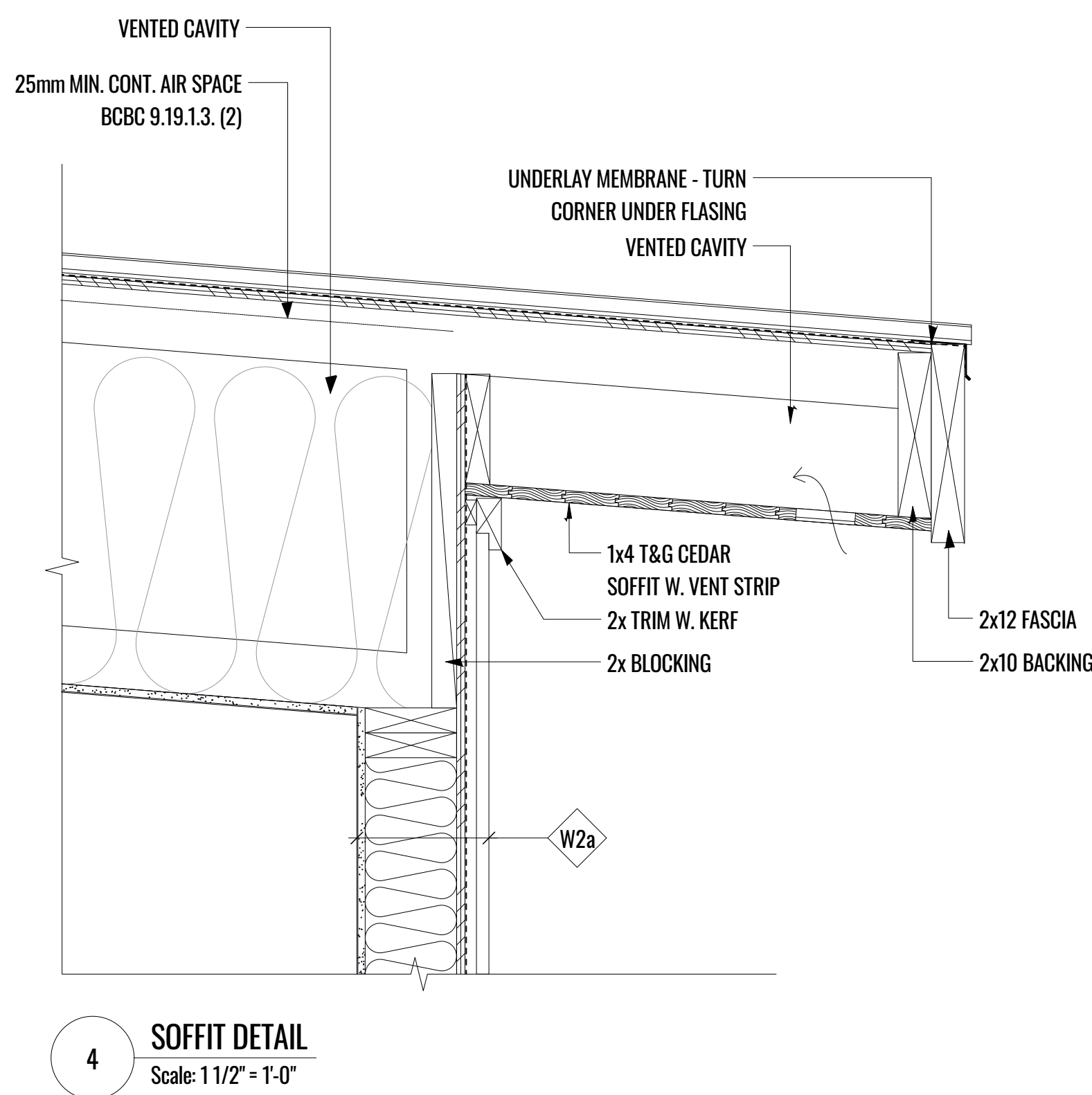
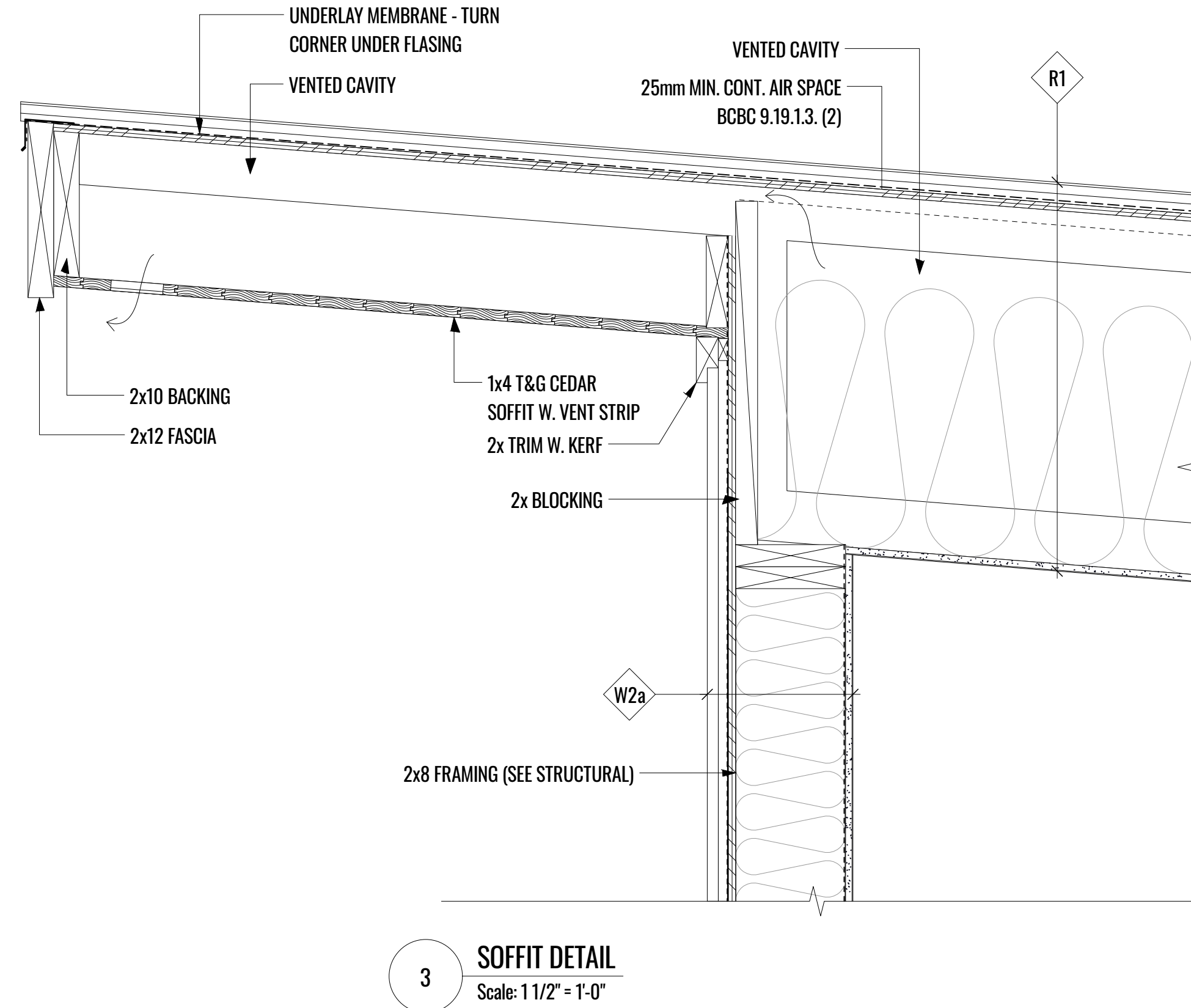
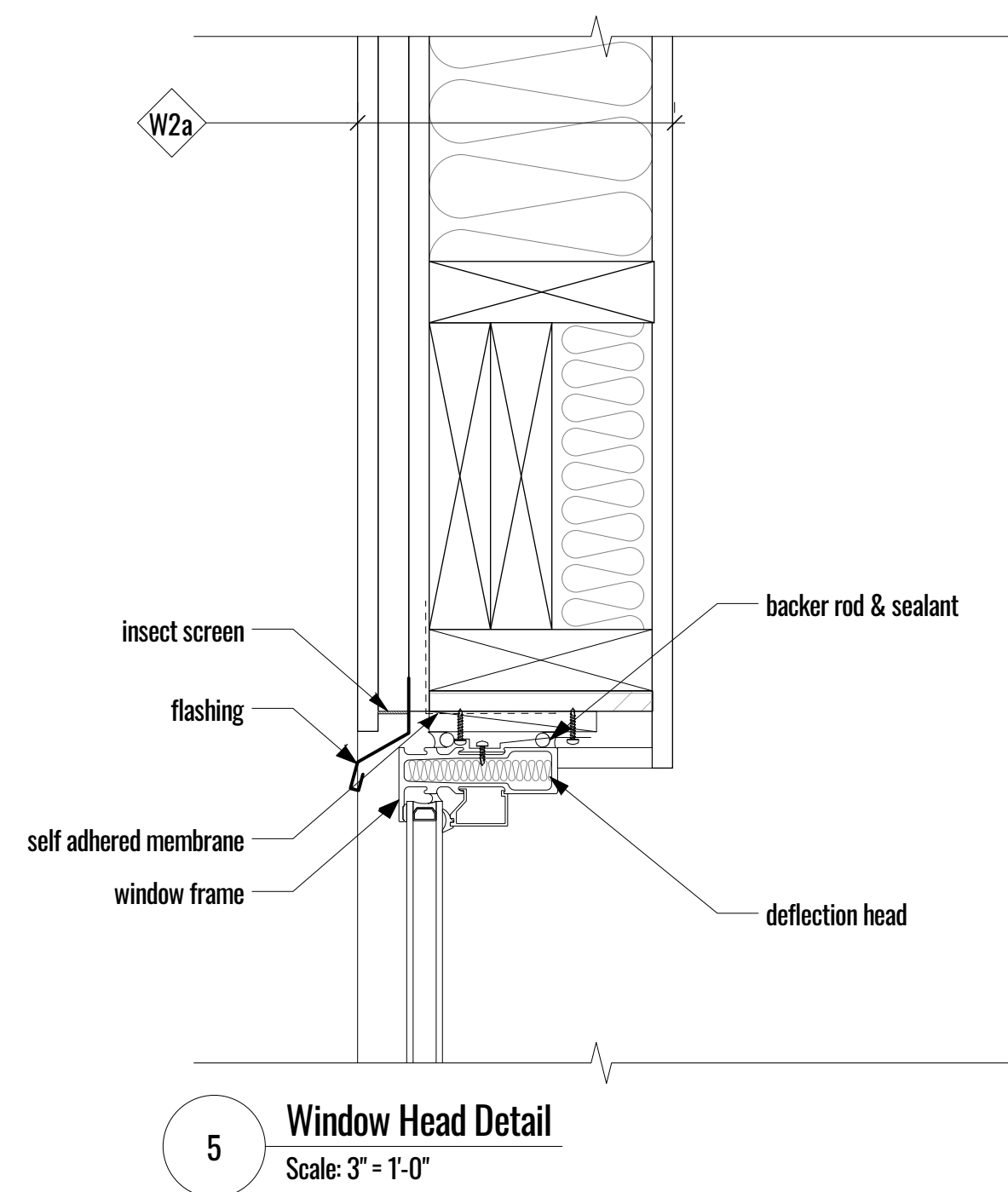
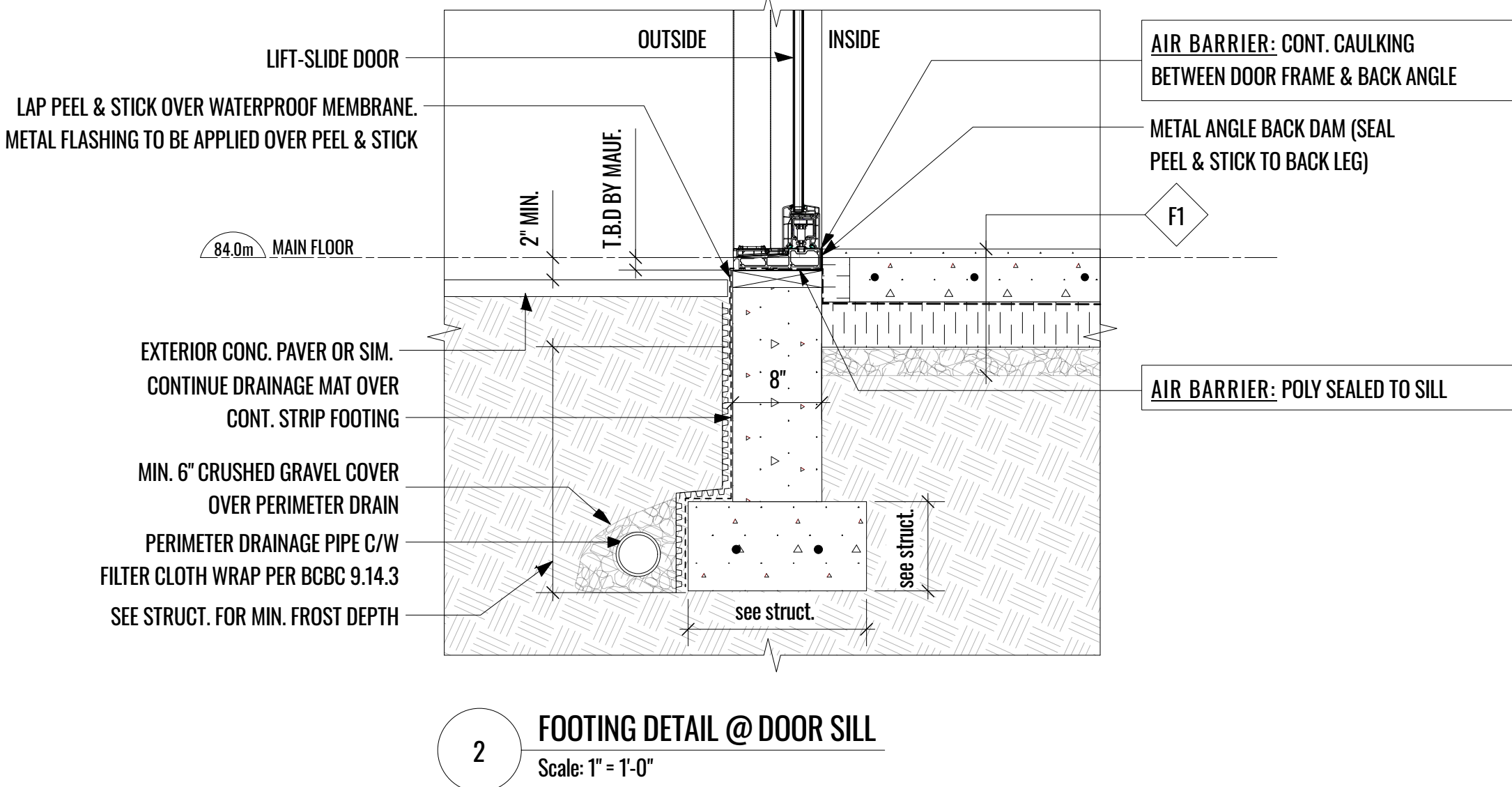
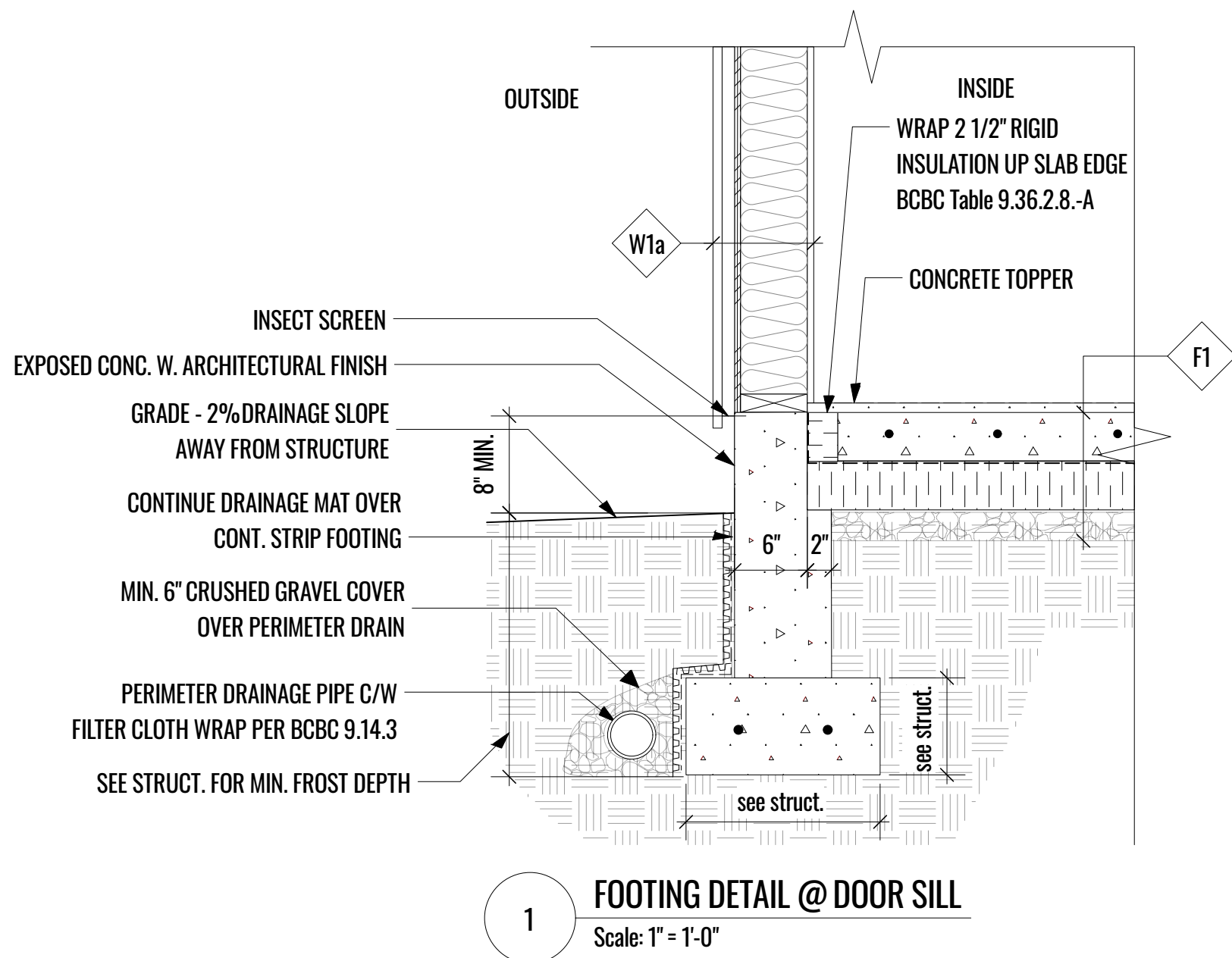
SITE SURVEY PROVIDED BY SUMMIT LAND SURVEYING INC.

ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED

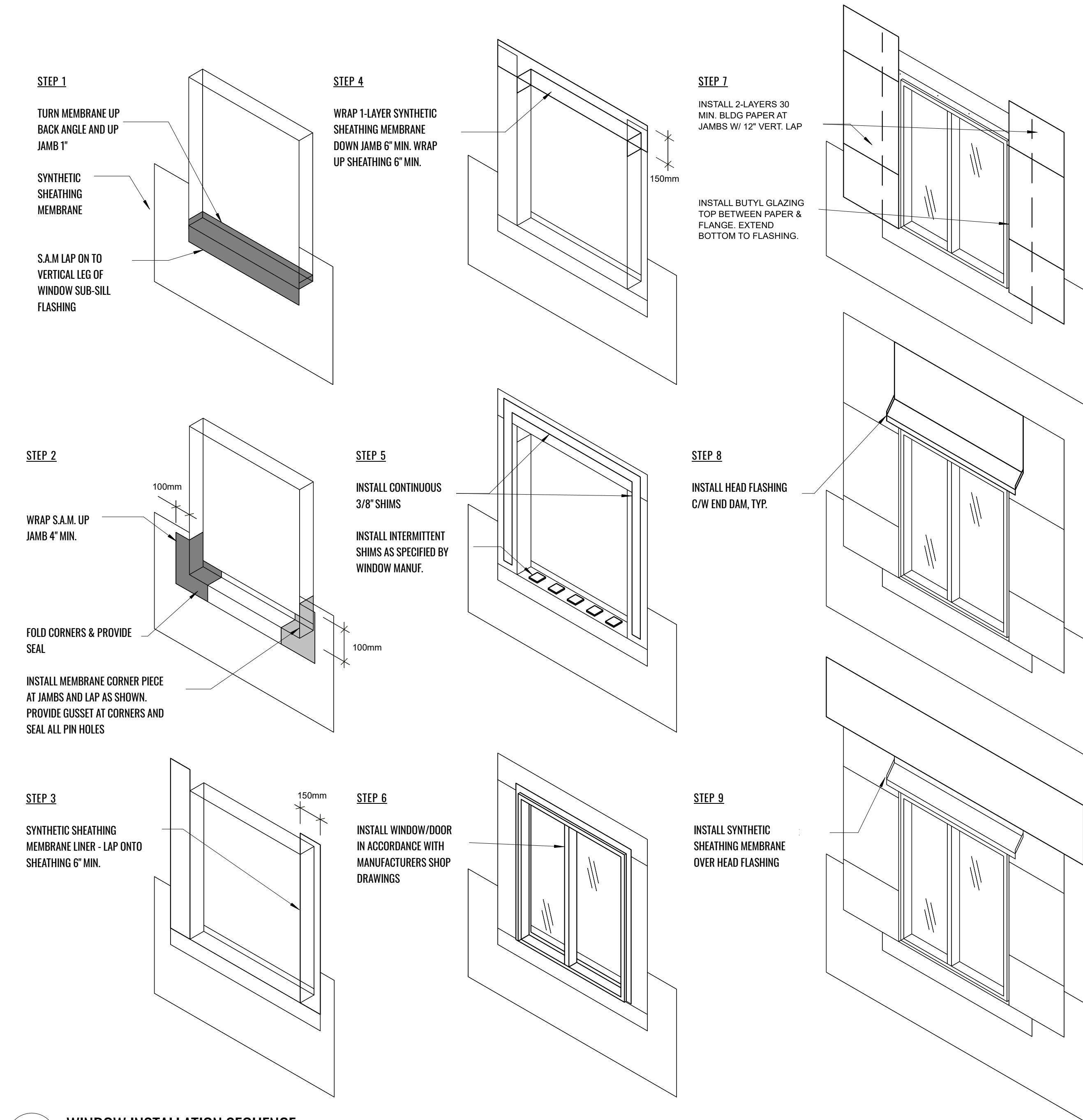
DO NOT SCALE DRAWINGS

ALL DIMENSIONS ARE MEASURED TO FACE OF STRUCTURE, UNLESS NOTED OTHERWISE

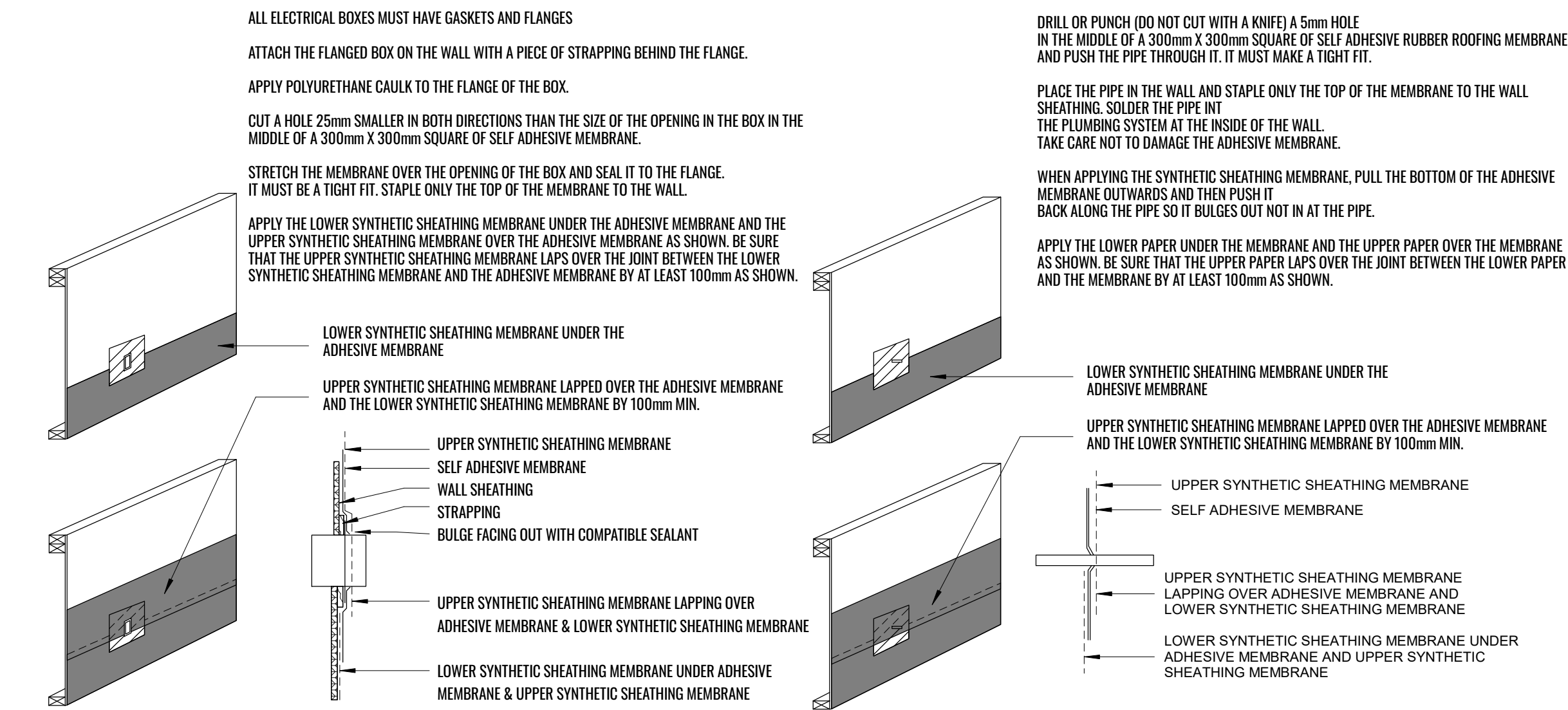
SMOKE ALARMS TO CONFORM WITH CAN/ULC - S531, REFER TO BCBC 2018



K	DPA	2023-09-12
J	revised	2023-08-22
I	revised	2023-08-08
H	revised	2023-07-31
G	revised	2023-07-10
F	revised	2023-06-27
E	consultant review	2023-05-05
no.	issue description	date
project name		
Van Mol / Freeman Residence		
Highland Road		
sheet title		
Details		
date		
2023-09-12		
scale		
as noted		
drawn by		
Amanda Hay		
sheet no.		
A500		



8 WINDOW INSTALLATION SEQUENCE
Scale: 1 1/2" = 1'-0"



2 ELECTRICAL RECEPTION PENETRATION DETAIL
Scale: 1 1/2" = 1'-0"

3 HOSE BIB PENETRATION DETAIL
Scale: 1 1/2" = 1'-0"

GENERAL NOTES

ALL RIGHTS OF WAY BOUNDARIES, SETBACKS AND PROPERTY LINES TO BE CONFIRMED BY B.C.L.S. PRIOR TO CONSTRUCTION

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONFIRM SAME ON SITE

ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION

ALL CLEARANCES, METHODS AND MATERIALS TO BE COMPLIANT TO ALL APPLICABLE BUILDING CODES AND MUNICIPAL BYLAWS

SITE SURVEY PROVIDED BY SUMMIT LAND SURVEYING INC.

ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED

DO NOT SCALE DRAWINGS

ALL DIMENSIONS ARE MEASURED TO FACE OF STRUCTURE, UNLESS NOTED OTHERWISE

SMOKE ALARMS TO CONFORM WITH CAN/ULC - 5531, REFER TO BCRC 2018

K	DPA	2023-09-12
J	revised	2023-08-22
I	revised	2023-08-08
H	revised	2023-07-31
G	revised	2023-07-10
F	revised	2023-06-27
E	consultant review	2023-05-05
no.	issue description	date

copyright reserved. these drawings and designs are and at all times remain the property of Coast + Beam Architecture to be used for the project shown and may not be reproduced without written consent.

project name
Van Mol / Freeman Residence
Highland Road

sheet title

Details

date	2023-09-12
scale	as noted
drawn by	Amanda Hoy
sheet no.	A501

GENERAL NOTES

ALL RIGHTS OF WAY BOUNDARIES, SETBACKS AND PROPERTY LINES TO BE CONFIRMED BY B.C.L.S. PRIOR TO CONSTRUCTION

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONFIRM SAME ON SITE

ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION

ALL CLEARANCES, METHODS AND MATERIALS TO BE COMPLIANT TO ALL APPLICABLE BUILDING CODES AND MUNICIPAL BYLAWS

SITE SURVEY PROVIDED BY SUMMIT LAND SURVEYING INC.

ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED

DO NOT SCALE DRAWINGS

ALL DIMENSIONS ARE MEASURED TO FACE OF STRUCTURE, UNLESS NOTED OTHERWISE

SMOKE ALARMS TO CONFORM WITH CAN/ULC - 5531, REFER TO BCRC 2018

LEGEND

- 4.5m CONTOUR LINE
- Grade 4.5m SITE GRADES
- FAN
- SD SMOKE DETECTOR
- WS WALL, FLOOR AND ROOF TAG
- D-01 DOOR TAG
- W-01 WINDOW TAG
- 6 EXTERIOR FINISH SYMBOL
- A GRID LINE
- 1 BUILDING SECTION
- 11.10m FLOOR ELEVATION
- C CENTERLINE

K	DPA	2023-09-12
J	revised	2023-08-22
I	revised	2023-08-08
H	revised	2023-07-31
G	revised	2023-07-10
F	revised	2023-06-27
E	consultant review	2023-05-05
no.	issue description	date

copyright reserved. these drawings and designs are and all of them remain the property of Coast + Beam Architecture to be used for the project shown and may not be reproduced without written consent.

project name
Van Mol / Freeman Residence
Highland Road

sheet title

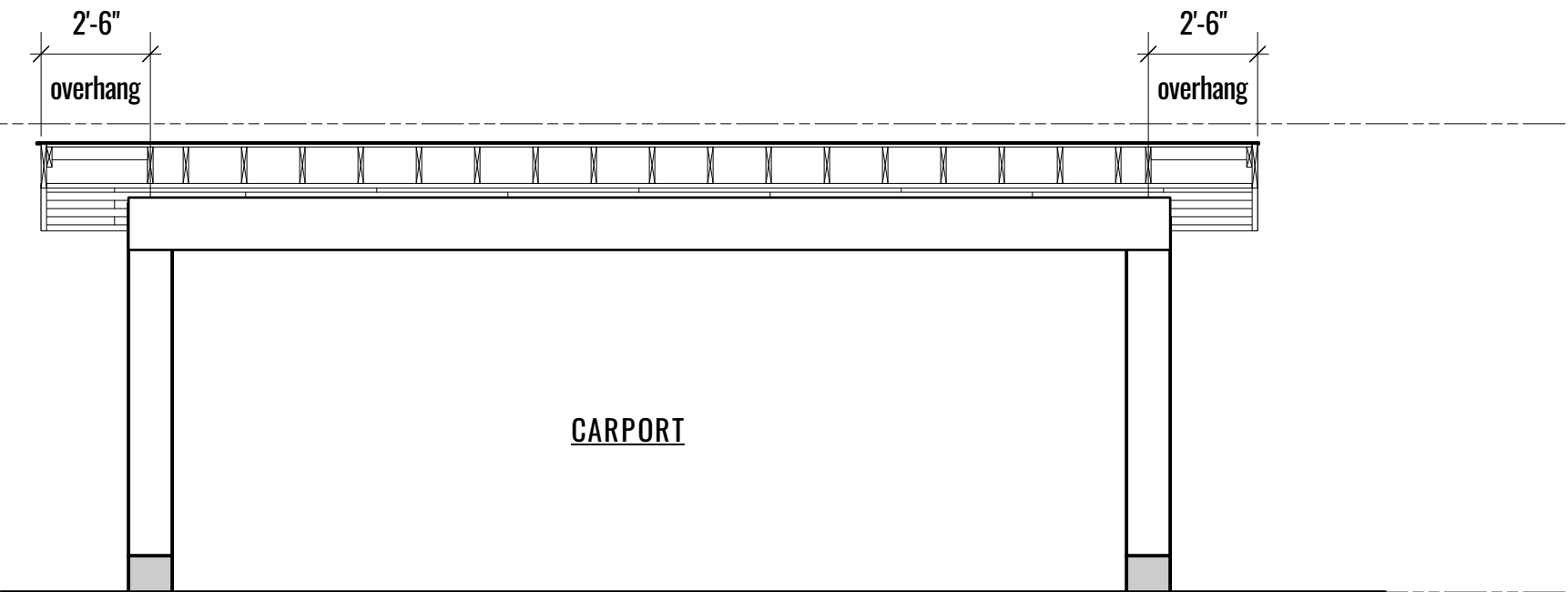
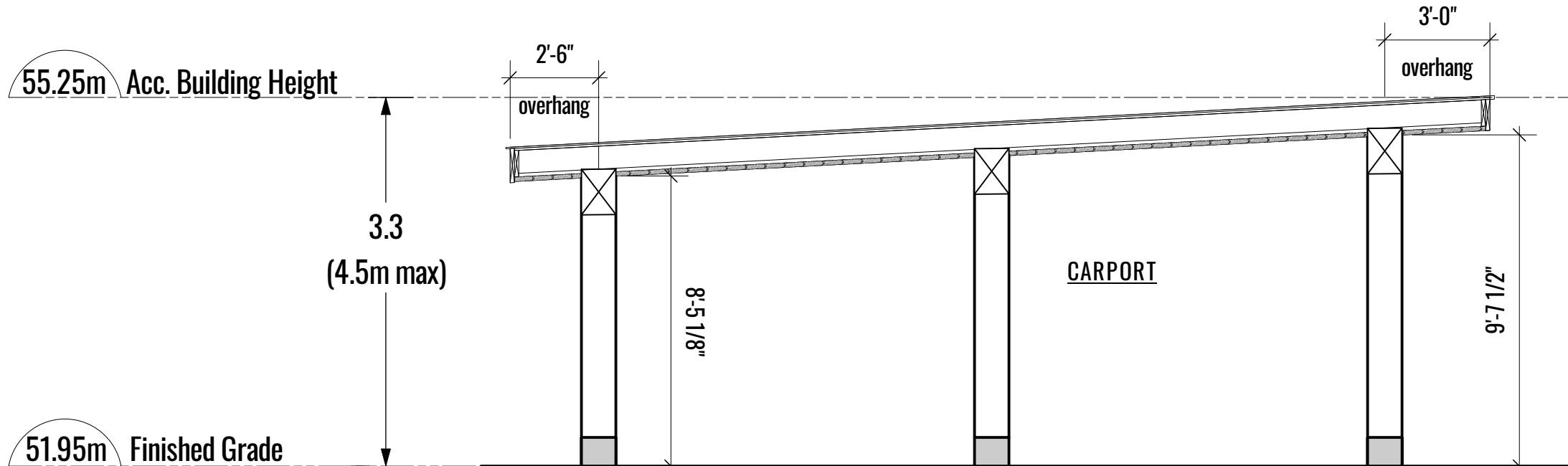
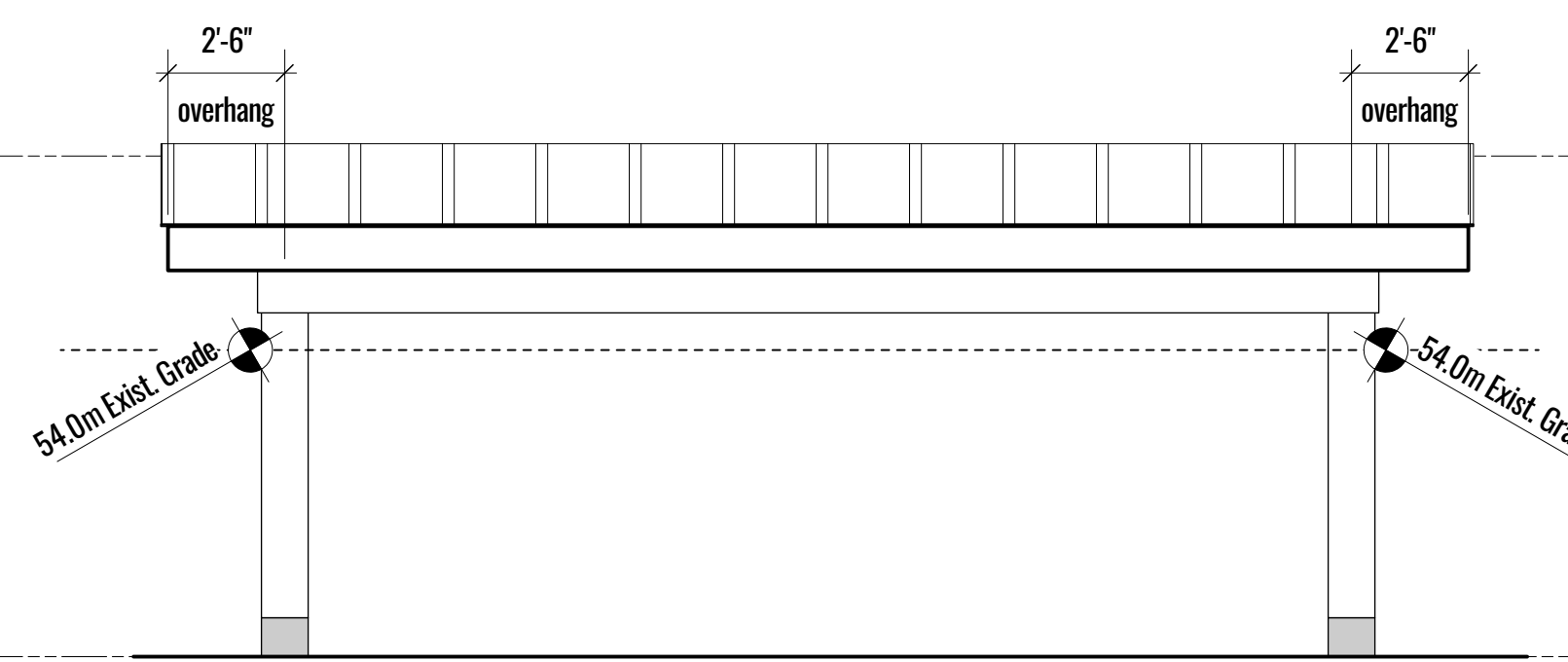
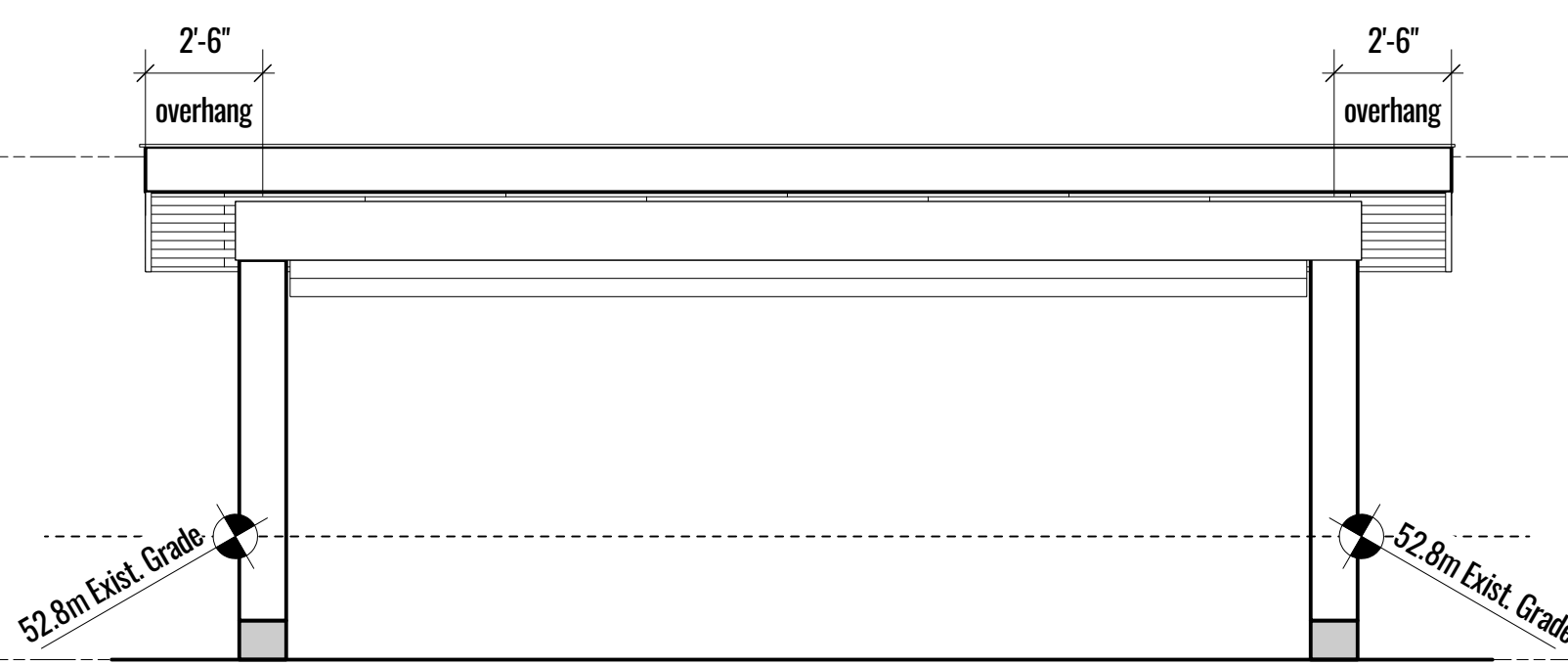
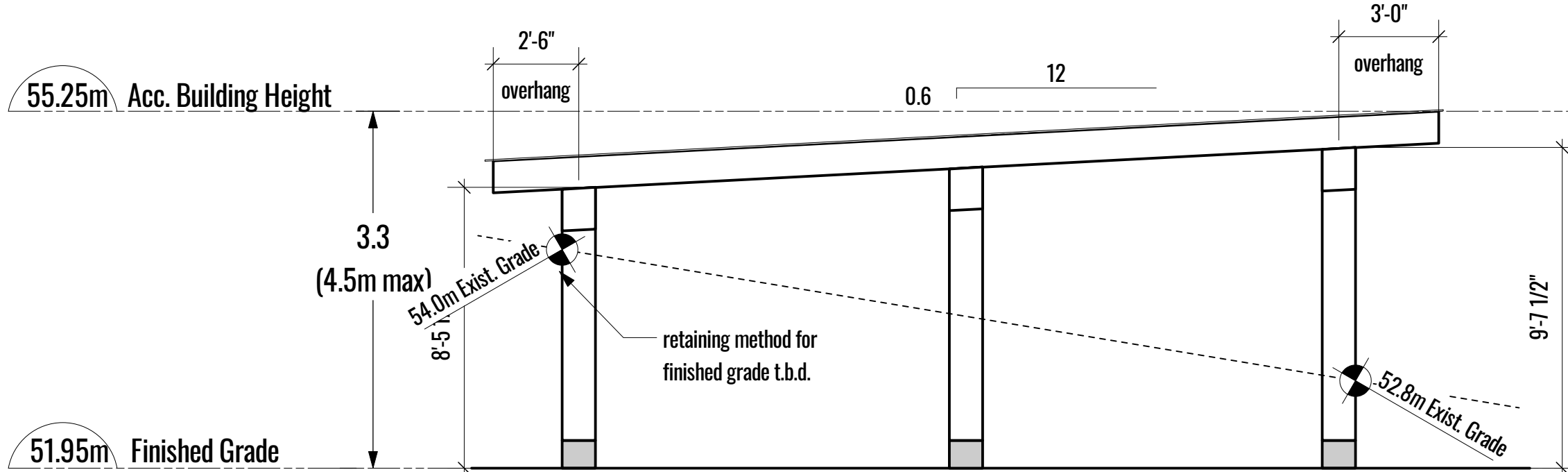
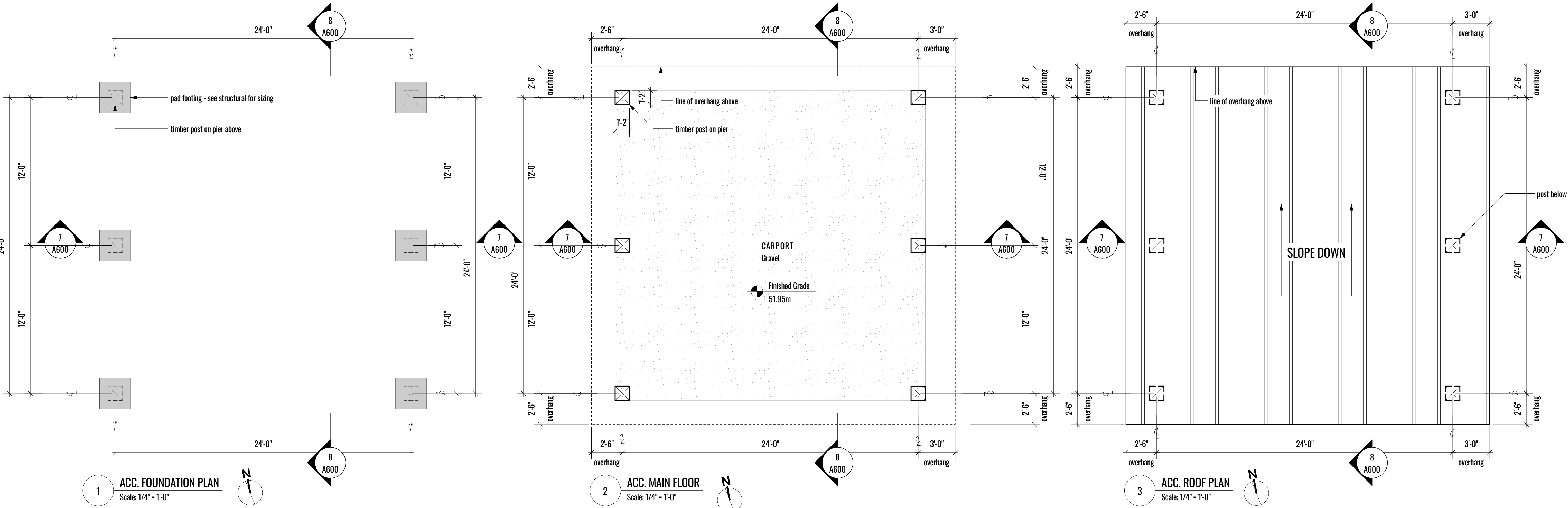
Accessory Building

date 2023-09-12

scale as noted

drawn by Amanda Hoy

sheet no. A600





EAST ELEVATION



WEST ELEVATION



LIVING ROOM PATIO



COVERED ENTRY



LIVING & DINING ROOM

K	DPA	2023-09-12
J	revised	2023-08-22
I	revised	2023-08-08
H	revised	2023-07-31
G	revised	2023-07-10
F	revised	2023-06-27
E	consultant review	2023-05-05
no.	issue description	date
copyright reserved. these drawings and designs are and at all times remain the property of Coast + Beam Architecture to be used for the project shown and may not be reproduced without written consent.		
project name		
Van Mol / Freeman Residence		
Highland Road		
sheet title		
3D Model		
date		
2023-09-12		
scale		
as noted		
drawn by		
Amanda Hoy		
sheet no.		
A800		